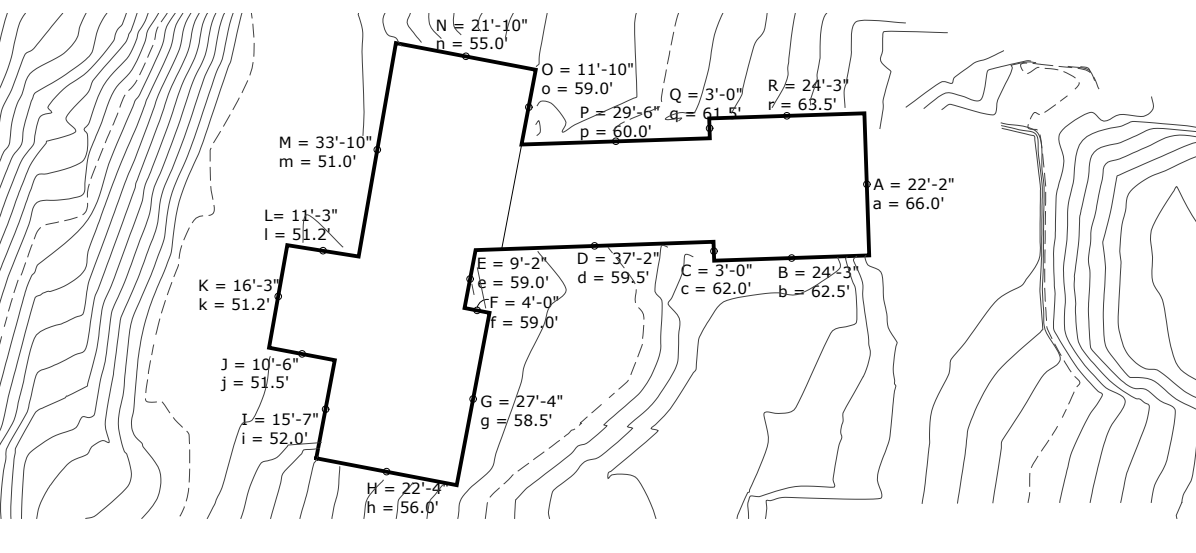


ABBREVIATIONS			
ADJ	ADJUSTABLE	FLG	FLASHING
AFF	ABOVE FINISH FLOOR	FLR	FLOOR
ALUM	ALUMINUM	FND	FOUNDATION
ALT	ALTERNATE	FOF	FACE OF FRAMING
ANC	ANCHOR, ANCHORAGE	FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
ARCH	ARCHITECT(URAL)		
ASPH	ASPHALT		
B/I	BUILT IN	FP	FIREPLACE
BD	BOARD	FRMG	FRAMING
BIT	BITUMINOUS	FRZ	FREEZER
BLDG	BUILDING	FT	FOOT
BLKG	BLOCKING	FTG	FOOTING
BOT	BOTTOM	GA	GAGE, GAUGE
BO	BOTTOM OF	GALV	GALVANIZED
BM	BEAM	GC	GENERAL CONTRACT(OR)
BSMT	BASEMENT	GLB	GLUE LAMINATED BEAM
BTWN	BETWEEN	GR	GRADE
CAB	CABINET	GRT	GROUT
CB	CATCH BASIN	GWB	GYPSUM WALL BOARD
CH	CEILING HEIGHT	HB	HOSE BIBB
CIP	CAST IN PLACE	HD	HEAD
CJ	CONTROL JOINT	HDWD	HARDWOOD
C/L	CENTER LINE	HOR	HORIZONTAL
CLOS	CLOSET	HT	HEIGHT
CLG	CEILING	HVAC	HEATING, VENTILATING & AIR CONDITIONING
CLR	CLEAR(ANCE)	ID	INSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	IN	INCH
CO	CLEAN OUT	INCL	INCLUDE
COL	COLUMN	INS	INSULATION
CONC	CONCRETE	INT	INTERIOR
CONST	CONSTRUCTION	JST	JOIST
CONT	CONTINUOUS OR CONTINUE	JT	JOINT
CP	CENTERPOINT	LAMG	LAMINATED GLASS
CPT	CARPET	LAV	LAVATORY
CSMT	CASEMENT	LIN	LINOLEUM
CT	CERAMIC TILE	MAX	MAXIMUM
CU	CUBIC	MBR	MASTER BEDROOM
DBL	DOUBLE	MECH	MECHANICAL
DEM	DEMOLISH, DEMOLITION	MFR	MANUFACTURER
DIAG	DIAGONAL	MIN	MINIMUM
DIAM	DIAMETER	MO	MASONRY OPENING
DIM	DIMENSION	MTL	METAL
DN	DOWN	MW	MICROWAVE
DR	DOOR	NIC	NOT IN CONTRACT
DRN	DRAIN	NTS	NOT TO SCALE
DRY	DRY CLOTHES DRYER	OC	ON CENTER
DS	DOWNSPOUT	OD	OUTSIDE DIAMETER
DTL	DETAIL	OPNG	OPENING
DWG	DRAWING	OPP	OPPOSITE
(E)	EXISTING	OVS	OVEN
EA	EACH	PERP	PERPENDICULAR
EF	EXHAUST FAN	PL	PLATE
EL	ELEVATION	PLAM	PLASTIC LAMINATE
ELEC	ELECTRIC(AL)	PLAS	PLASTER
ELEV	ELEVATOR	PNL	PANEL
EQ	EQUAL	PTD	PAINTED
EQUIP	EQUIPMENT	PR	PAIR
EXT	EXTERIOR	PT	PRESSURE TREATED
FD	FLOOR DRAIN	PLYWD	PLYWOOD
FE	FIRE EXTINGUISHER	R	RISER
FF	FINISH FLOOR	R/A	RETURN AIR
FIN	FINISH	R&S	ROD AND SHELF
		PLAM	PLASTIC LAMINATE
		PLAS	PLASTER
		PNL	PANEL
		PTD	PAINTED
		PR	PAIR
		PT	PRESSURE TREATED
		PLYWD	PLYWOOD
		R	RISER
		R/A	RETURN AIR
		R&S	ROD AND SHELF
		RECT	RECTANGULAR
		REF	REFRIGERATOR
		REINF	REINFORCING
		REQD	REQUIRED
		RF	ROOF
		RM	ROOM
		RO	ROUGH OPENING
		S/A	SUPPLY AIR
		SGL	SAFETY GLAZING
		SCHED	SCHEDULE
		SD	STORM DRAIN
		SECT	SECTION
		SF	SQUARE FEET
		SHT	SHEET
		SHTG	SHEATHING
		SHWR	SHOWER
		SIM	SIMILAR
		SOG	SLAB ON GRADE
		SPEC	SPECIFICATION(S)
		SQ	SQUARE
		SS	STAINLESS STEEL
		STD	STANDARD
		STL	STEEL
		STN	STAIN(ED)
		STOR	STORAGE
		STR	STRUCTURAL
		SYS	SYSTEM
		T	TREAD
		T&G	TONGUE & GROOVE
		TBD	TO BE DETERMINED
		TEL	TELEPHONE
		TG	TEMPERED GLASS
		THD	THRESHOLD
		THK	THICK(NESS)
		TOC	TOP OF CONCRETE
		TOM	TOP OF MASONRY
		TOS	TOP OF SHEATHING
		TOW	TOP OF WALL
		TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
		VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
		VIF	VERIFY IN FIELD
		VP	VENEER PLASTER
		VR	VAPOR RETARDER
		VT	VINYL TILE
		W	WIDTH
		W/	WITH
		W/O	WITH OUT
		WASH	CLOTHES WASHER
		WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		WG	WIRE GLASS
		WP	WATER PROOF
		WT	WEIGHT

SYMBOL KEY			
	DRAWING # SHEET #	SECTION	FINISH WOOD
	DRAWING # SHEET #	SECTION DETAIL	ROUGH WOOD
	DRAWING # SHEET #	DETAIL REFERENCE	CONCRETE
001-W1	DOOR / WINDOW NUMBER		SOIL
	INTERIOR ELEVATION		BATT INSULATION
	SPOT ELEVATION (EXISTING ELEVATION)		RIGID INSULATION
	VERTICAL ELEVATION		SPRAY FOAM INSULATION
ROOM NAME 204	ROOM REFERENCE		PLYWOOD
	CENTER LINE		DOOR TYPE
	EXHAUST FAN		WINDOW TYPE
	CARBON MONOXIDE DETECTOR		REVISION (ONLY MOST RECENT REVISION SHOWN CLOUDED)
	SMOKE DETECTOR		

PROJECT INFORMATION	
PROJECT DESCRIPTION	MAIN FLOOR INTERIOR REMODEL AT KITCHEN, FAMILY ROOM, LIVING ROOM & ENTRY. REPLACE WOOD DECK WITH NEW STONE PAVER DECK WITH GUARDRAILS & NEW STAIR TO NEW STONE PAVED LOWER TERRACE. REPLACE LOWER LEVEL WINDOWS @ BEDROOMS AND REC ROOM PER DRAWINGS. NEW ACCESSORY STRUCTURE WITH GREEN ROOF, NEW HARDSCAPE AND RETAINING WALLS.
ASSESSOR'S PARCEL NUMBER	252404-9049
LEGAL DESCRIPTION	POR GL 3 BEG S 89-52-00 W 3805 FT OF E 1/4 COR OF SEC TH N 25-46-12 E 64.29 FT TH N 80-59-39 W TO SH OF LK WASH TH SWLY ALG SD SH LN TO S LN GL 3 TH ELY TO BEG & SH LDS ADJ LESS BEG SE COR THOF TH N 25-46-12 E 13.34 FT TH S 89-52-00 W 48.92 FT TH S 00-08-00 E 2 FT TO TPOB TH CONT S 00-08-00 E 10 FT TO S LN THOF TH WLY ALG SD S LN 67.20 FT TO WLY EDGE OF EXISTING CONCRETE CURB TH N 05-35-00 E 10.05 FT TH N 89-52-00 E 66.20 FT TO TPOB
LAND USE CODE REVIEW	
CODE STANDARD	CITY OF MERCER ISLAND TITLE 19 UNIFIED LAND DEVELOPMENT CODE
	SEE A0.2 FOR LOT COVERAGE, GROSS FLOOR AREA DIAGRAMS & STRUCTURAL WALL ALTERATION CALCULATION
ZONING:	R15
MAXIMUM GROSS FLOOR AREA:	10,710 SF
LOT AREA =	26,775 SF
VEHICLE EASEMENT AREA =	(552) SF
NET LOT AREA =	26,223 SF
LOT COVERAGE CALCULATION:	SEE A0.2
HOUSE - YARDS	REQUIRED EXISTING PROPOSED
FRONT	20'-0" 108'-0" NO CHANGE
SIDE NORTH	5'-0" 6'-1" NO CHANGE
SIDE SOUTH	10'-0" 13'-9 1/2" NO CHANGE
SHORELINE	25'-0" 99'-6" NO CHANGE
MAXIMUM STRUCTURE HEIGHT	
AVERAGE BUILDING GRADE:	19,132.25 / 332.34 = 57.57'
MAX ALLOWABLE HEIGHT:	87.57' (30 FT ABOVE AVERAGE BUILDING GRADE)
EXISTING HEIGHT :	77.41' (NO CHANGE)

BUILDING CODE REVIEW	
CODE STANDARD	INTERNATIONAL RESIDENTIAL CODE WITH WASHINGTON STATE CODE COUNCIL AMENDMENTS, 2015 EDITION
PROPOSED STRUCTURE OCCUPANCY:	R-3
BUILDING TYPE:	V-B
NUMBER OF STORIES:	1 + BASEMENT
GROSS FLOOR AREAS:	SEE 2/A0.2
	SOURCE SPECIFIC EXHAUST FAN AT KITCHEN HOOD TO BE 940 CFM @ 0.25 INCHES WATER GAUGE. MECHANICAL SYSTEM IS TO PROVIDE MAKEUP AIR SUFFICIENT TO MEET THE REQUIREMENTS OF IRC M1503.4.
	R404.1 LIGHTING EQUIPMENT MINIMUM OF 75% OF ALL NEW, PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
	R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS ALTERATIONS (REMODELS) DO NOT NEED TO OBTAIN ENERGY CREDITS FROM TABLE R406.2. EXISTING HEATING / COOLING SYSTEM & HOT WATER SYSTEM TO REMAIN.
	CHAPTER 5 EXISTING BUILDINGS
	R501.3 ALTERATIONS ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION(S) OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE
	* EXCEPTIONS - EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION. 2X4 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM R-15.
	ALTERATIONS SHALL BE SUCH THAT THE EXISTING STRUCTURE USES NO MORE ENERGY THAN THE STRUCTURE PRIOR TO THE ALTERATION.
	THE CODE OFFICIAL MAY APPROVE DESIGNS OF ALTERATIONS WHICH DO NOT FULLY CONFORM TO ALL OF THE REQUIREMENTS OF THIS CODE WHERE IN THE OPINION OF THE BUILDING OFFICIAL FULL COMPLIANCE IS PHYSICALLY IMPOSSIBLE AND/OR ECONOMICALLY IMPRACTICAL AND: 1. THE ALTERATION IMPROVES THE ENERGY EFFICIENCY OF THE BUILDING.



ENERGY CODE NOTES	
COMPLIANCE BY 2015 WASHINGTON STATE ENERGY CODE	
CHAPTER 3 GENERAL REQUIREMENTS	
TABLE R301.1 CLIMATE ZONE DESIGNATIONS BY STATE & COUNTY	KING COUNTY, WASHINGTON - 4C
EXTERIOR DESIGN CONDITIONS TABLE C-1	SEATTLE OUTDOOR DESIGN TEMP HEATING 24 F SEATTLE OUTDOOR DESIGN TEMP COOLING 83 F
CHAPTER 4 RESIDENTIAL ENERGY EFFICIENCY	
R401.3 CERTIFICATE	A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH SEC R401.3 IS REQUIRED TO BE COMPLETED BY THE BUILDER AND PERMANENTLY POSTED WITHIN 3'-0" OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION. PROVIDE INSULATION R-VALUES AND FENESTRATION U-VALUES FOR ALL NEW ASSEMBLIES ONLY.
R402.1 GENERAL (PRESCRIPTIVE)	THE BUILDING ENVELOPE SHALL MEET THE REQUIREMENTS OF SECTIONS R402.1.1 THROUGH 402.1.4.
TABLE R402.1.1 INSULATION & FENESTRATION BY COMPONENT	
FENESTRATION	REQ'D VALUE U-0.30 PROPOSED U-0.30 AVG
CEILING	R-38 / R-49 R-38 / R-49
WOOD FRAME WALL	R-21 R-15*
FLOOR	R-30 R-30
TABLE R402.4.1.1 AIR BARRIER & INSULATION INSTALLATION	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
TO THE MAXIMUM EXTENT POSSIBLE, ALL WALL CAVITIES EXPOSED FROM CONSTRUCTION ACTIVITY SHALL BE FULLY INSULATED TO THE LEVELS INDICATED ABOVE.	
R402.4.1.2 TESTING	FOR NEW CONDITIONED SPACES ONLY, PROVIDE BUILDING AIR LEAKAGE TESTING, DEMONSTRATING THE AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR.
R402.4.3 AIR LEAKAGE OF FENESTRATION	NEW WINDOWS & SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SF, & SWINGING DOORS NO LESS THAN 0.5 CFM PER SF WHEN TESTED ACCORDING TO NFRC 400. THE TEST RESULTS SHALL BE POSTED PER R401.3.
R402.4.4 RECESSED LIGHTING	RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE TYPE IC-RATED & CERTIFIED UNDER ASTM E283 AS HAVING AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
VENTILATION AND INDOOR AIR QUALITY	PER R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY: MECHANICAL VENTILATION SYSTEM FAN SHALL MEET THE EFFICACY REQUIREMENTS IN TABLE R403.6.1 & VENTILATION REQUIREMENTS PER M1507.3. MECHANICAL WHOLE HOUSE VENTILATION INTEGRATED WITH A FORCED-AIR SYSTEM SHALL BE PROVIDED PER M1507.3.5 WITH VENTILATION AIRFLOW RATE OF 90 CFM MIN PER TABLE M1507.3.3(1). MECHANICAL PERMIT TO BE SUBMITTED SEPARATELY.
LAUNDRY ROOM SOURCE SPECIFIC EXHAUST FANS TO BE CONTINUOUS OPERATING WITH 110 CFM MIN @ 0.25 INCHES WATER GAUGE.	
ALL OTHER SOURCE SPECIFIC EXHAUST FANS LOCATED IN BATHROOMS & POWDER AREAS TO BE 50 CFM MIN @ 0.25 INCHES WATER GAUGE.	
SOURCE SPECIFIC EXHAUST FAN AT KITCHEN HOOD TO BE 940 CFM @ 0.25 INCHES WATER GAUGE. MECHANICAL SYSTEM IS TO PROVIDE MAKEUP AIR SUFFICIENT TO MEET THE REQUIREMENTS OF IRC M1503.4.	
R404.1 LIGHTING EQUIPMENT	MINIMUM OF 75% OF ALL NEW, PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS	ALTERATIONS (REMODELS) DO NOT NEED TO OBTAIN ENERGY CREDITS FROM TABLE R406.2. EXISTING HEATING / COOLING SYSTEM & HOT WATER SYSTEM TO REMAIN.
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R501.3 ALTERATIONS	ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION(S) OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE
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ALTERATIONS SHALL BE SUCH THAT THE EXISTING STRUCTURE USES NO MORE ENERGY THAN THE STRUCTURE PRIOR TO THE ALTERATION.	
THE CODE OFFICIAL MAY APPROVE DESIGNS OF ALTERATIONS WHICH DO NOT FULLY CONFORM TO ALL OF THE REQUIREMENTS OF THIS CODE WHERE IN THE OPINION OF THE BUILDING OFFICIAL FULL COMPLIANCE IS PHYSICALLY IMPOSSIBLE AND/OR ECONOMICALLY IMPRACTICAL AND: 1. THE ALTERATION IMPROVES THE ENERGY EFFICIENCY OF THE BUILDING.	

DRAWING INDEX	
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A0.2	LAND USE & AREA CALCS
--	SURVEY
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AD2.1	LOWER FLOOR DEMO PLAN
AD2.2	MAIN FLOOR DEMO PLAN
A2.1	LOWER FLOOR PLAN
A2.2	MAIN FLOOR PLAN
A2.3	ROOF PLAN
A2.4	ACCESSORY STRUCTURE FLOOR & ROOF PLAN
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
A3.3	ACCESSORY STRUCTURE SECTIONS
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A4.2	EXTERIOR ELEVATIONS
A4.3	ACCESSORY STRUCTURE EXTERIOR ELEVATIONS
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STRUCTURAL DRAWINGS	
S1.0	GENERAL STRUCTURAL NOTES
S1.1	GENERAL STRUCTURAL NOTES
S2.0	FOUNDATION PLAN
S2.1	MAIN FLOOR FRAMING PLAN
S2.2	ROOF FRAMING PLAN
S2.3	PIPE PILE LAYOUT PLAN & DETAILS
S2.4	SHORING PLAN AND ELEVATION AND DETAILS
S2.5	FOUNDATION AND ROOF PLANS AND DETAILS ACCESSORY STRUCTURE
S3.0	STRUCTURAL DETAILS
S3.1	STRUCTURAL DETAILS
S3.4	STRUCTURAL DETAILS SITE WALLS AND ACCESSORY STRUCTURE
S4.0	STRUCTURAL DETAILS
PROJECT DIRECTORY	
PROJECT ADDRESS 7179 HOLLY HILL DR MERCER ISLAND, WA 98040	
PROJECT OWNERS BRUCE & ANN VANDERWALL 7179 HOLLY HILL DR MERCER ISLAND, WA 98040	
ARCHITECT CONARD ROMANO ARCHITECTS CONTACT: JIM ROMANO 514 - 28TH AVENUE EAST SEATTLE, WASHINGTON 98112 (206) 329-4227	INTERIOR DESIGNER BUMGARDNER CONTACT: KAY FLEENOR 2111 THIRD AVE. SEATTLE, WA 98121 (206) 223-1361
STRUCTURAL ENGINEER HARRIOT VALENTINE ENGINEERS INC. CONTACT: JIM HARRIOT 1932 FIRST AVE., SUITE 720 SEATTLE, WA 98101 (206) 624-4760	
GENERAL CONTRACTOR PRESTIGE RESIDENTIAL CONTRACTORS CONTACT: PAT RADWICK 1200 S ANGELO ST., SUITE A SEATTLE, WA 98108 (206) 722-1540	
VICINITY MAP	
PROJECT SITE	

CONARD ROMANO ARCHITECTS

VANDERWALL RESIDENCE  
7179 HOLLY HILL DRIVE  
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Seattle Washington 98112  
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7046 REGISTERED ARCHITECT

*James Patrick Romano*

JAMES PATRICK ROMANO  
STATE OF WASHINGTON

stamp

File Name: VAND A0.1 general info  
Plot Date: 3/15/24  
Project ID: VAND  
Drawn: EV  
Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	3/15/24	PERMIT REVISION II

Issue For: PERMIT REVISION II  
sheet info

GENERAL PROJECT INFO

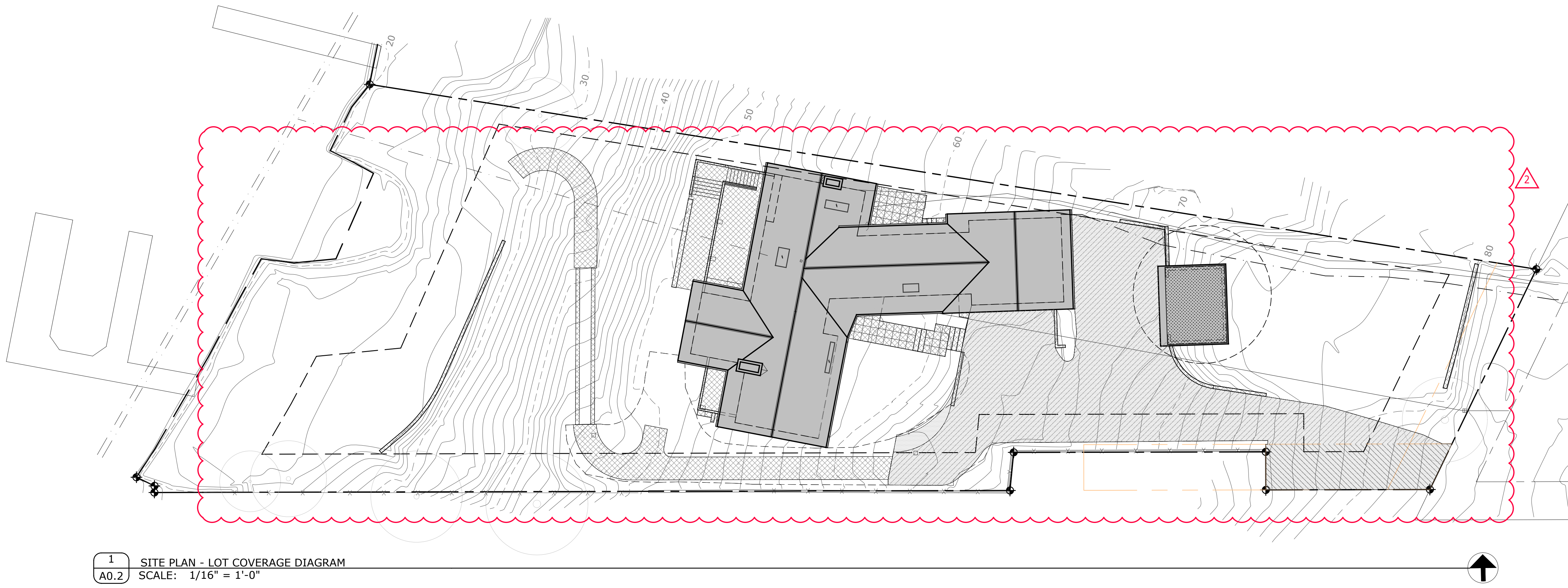
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A0.1

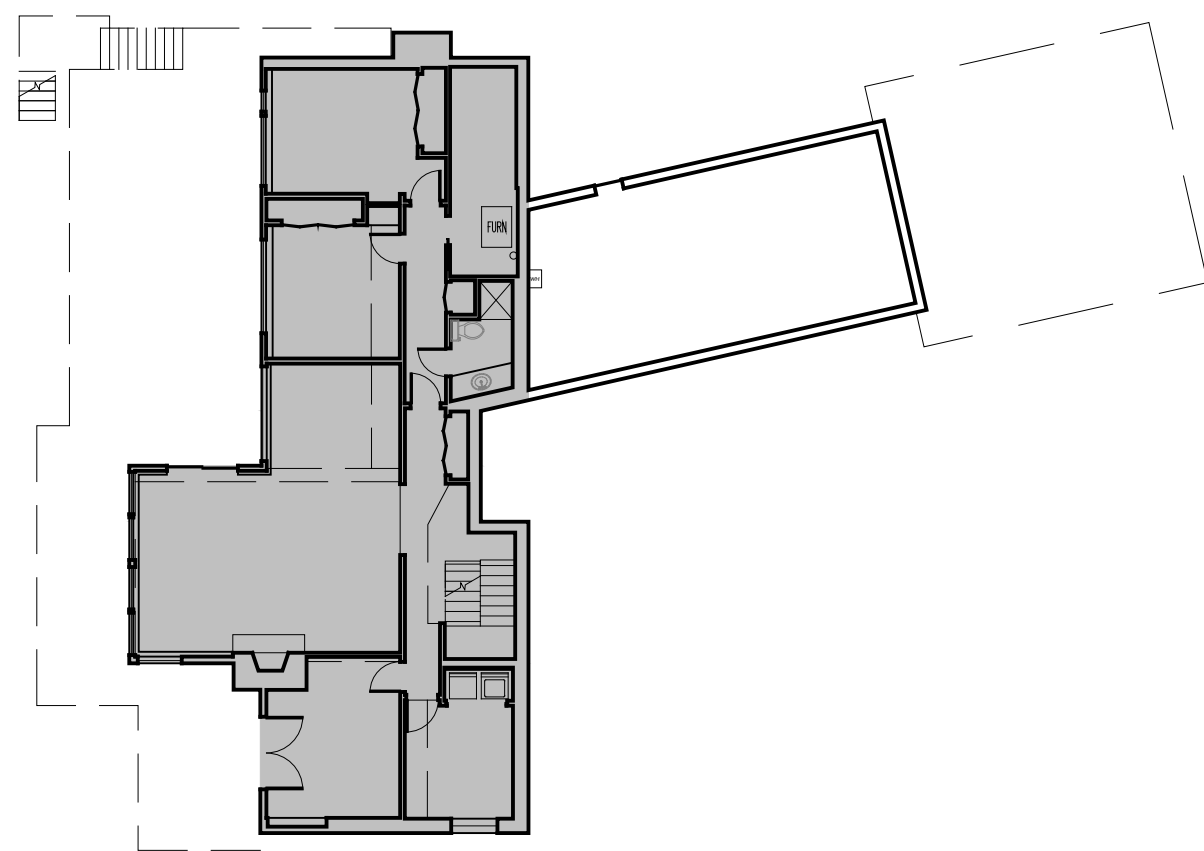
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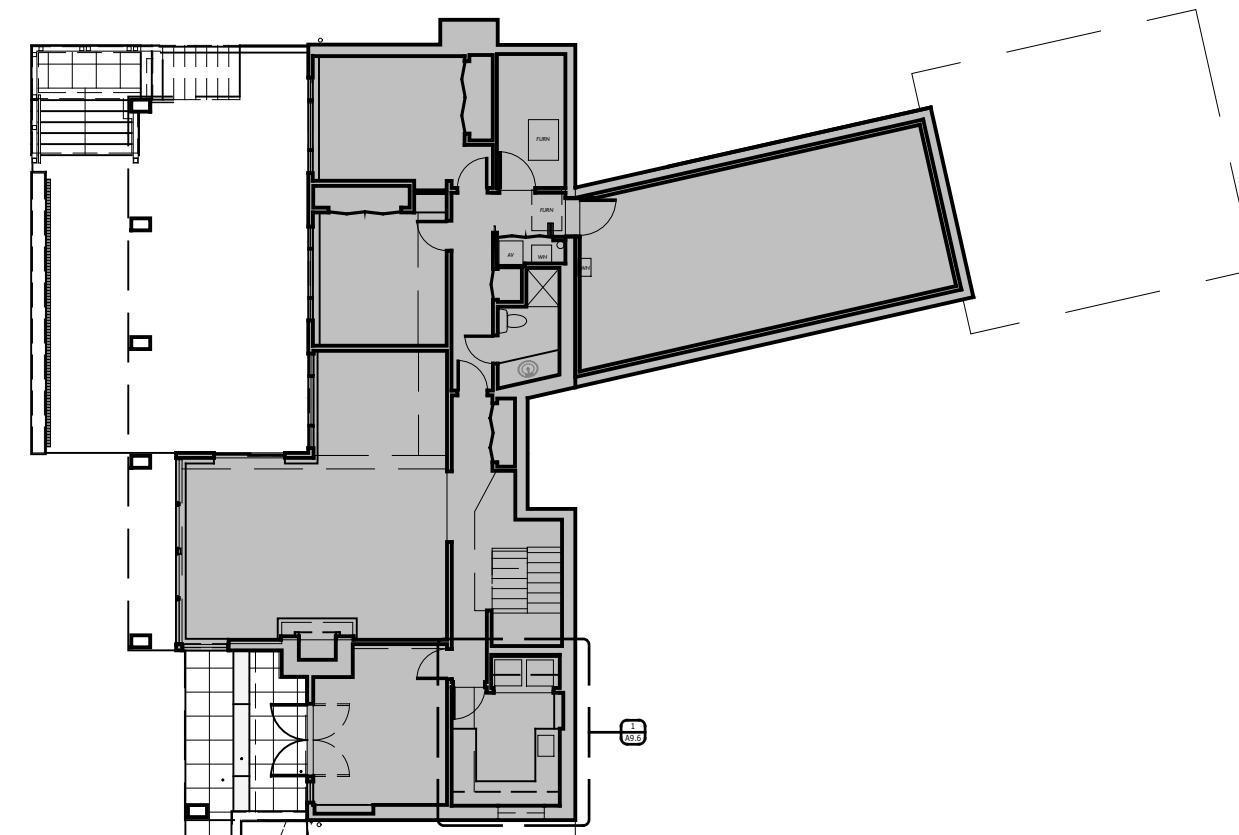


1 SITE PLAN - LOT COVERAGE DIAGRAM  
A0.2 SCALE: 1/16" = 1'-0"



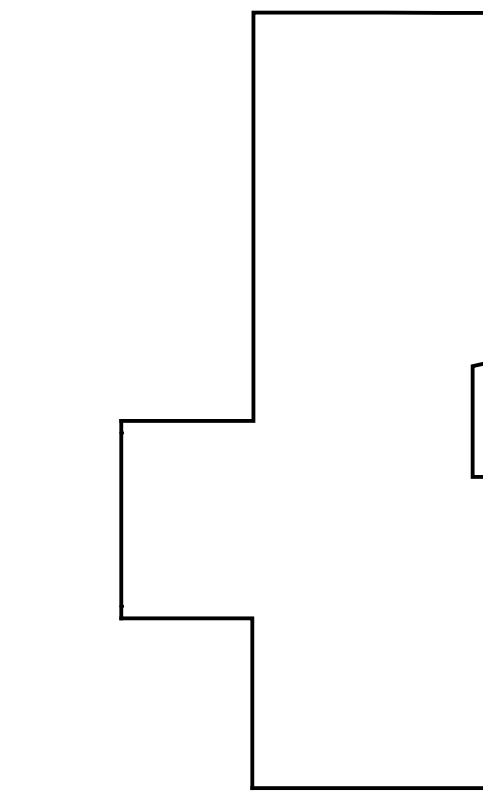
EXISTING BASEMENT

(E) AREA BOUND BY EXTERIOR FACE = 1,596 SF  
AREA EXCLUDED PER APPENDIX B = (711) SF  
(E) BASEMENT GROSS FLOOR AREA = 885 SF



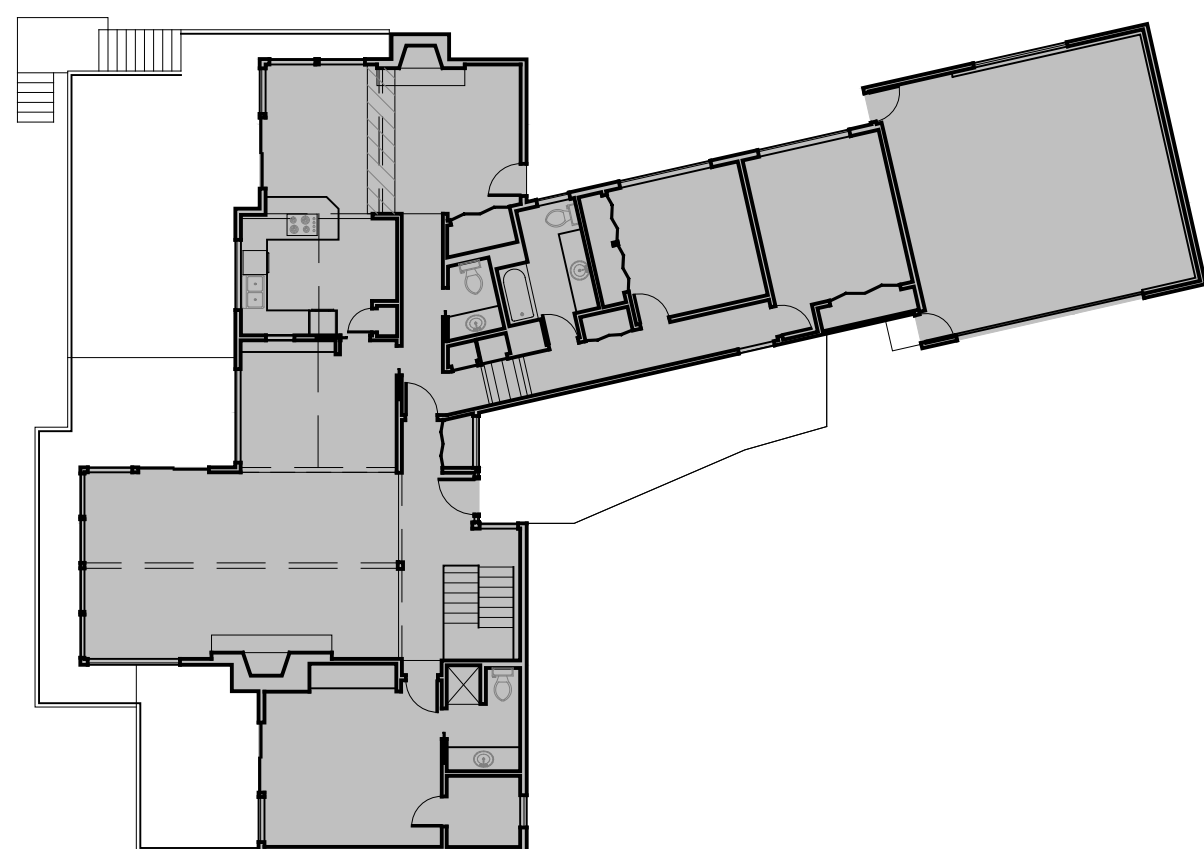
PROPOSED BASEMENT

PROPOSED AREA BOUND BY EXTERIOR FACE = 2,118 SF  
AREA EXCLUDED PER APPENDIX B = (1,182) SF  
PROPOSED BASEMENT GROSS FLOOR AREA = 936 SF



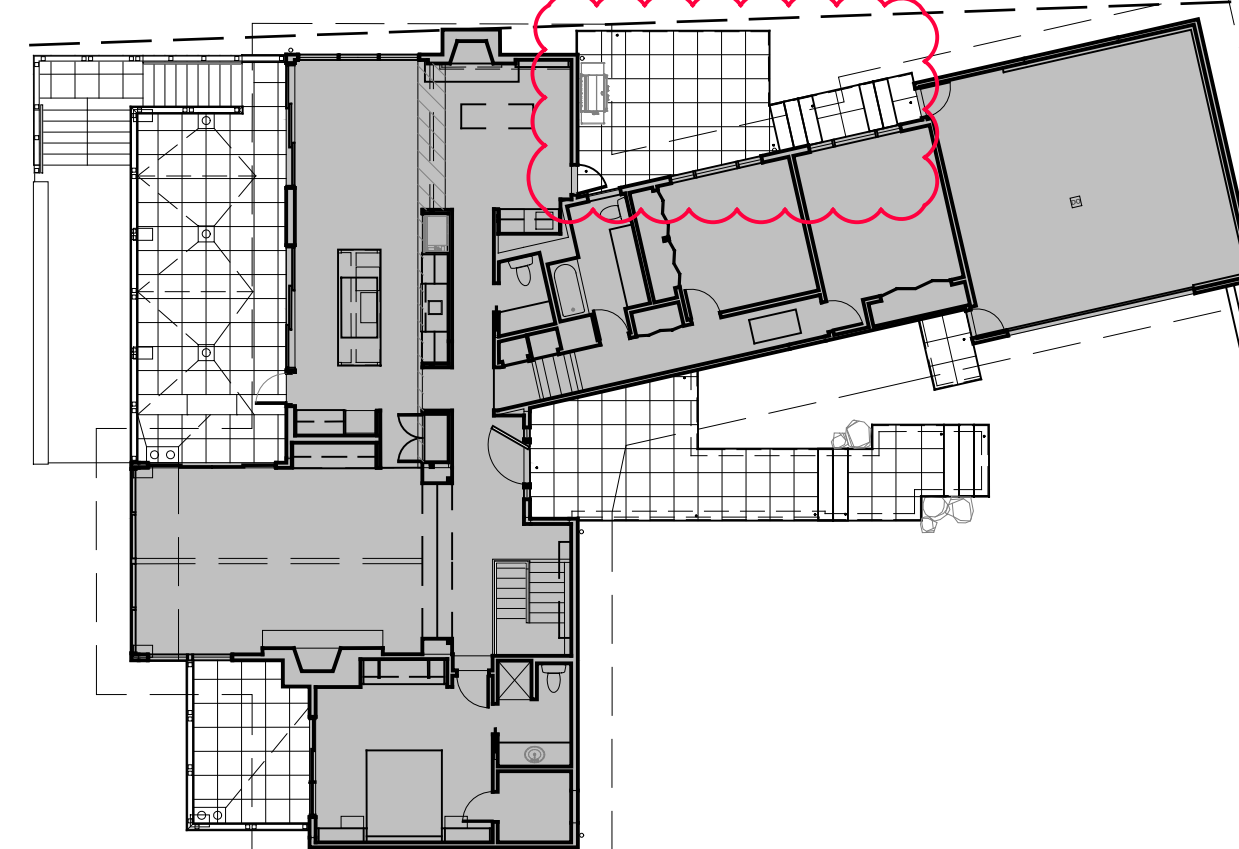
BASEMENT STRUCTURAL WALL ALTERATION CALC

LF OF EXISTING EXTERIOR WALL = 202.72 LF  
LF OF EXTERIOR WALL BEING ALTERED = 0.00 LF  
% OF BASEMENT WALL ALTERATION = 0.00%



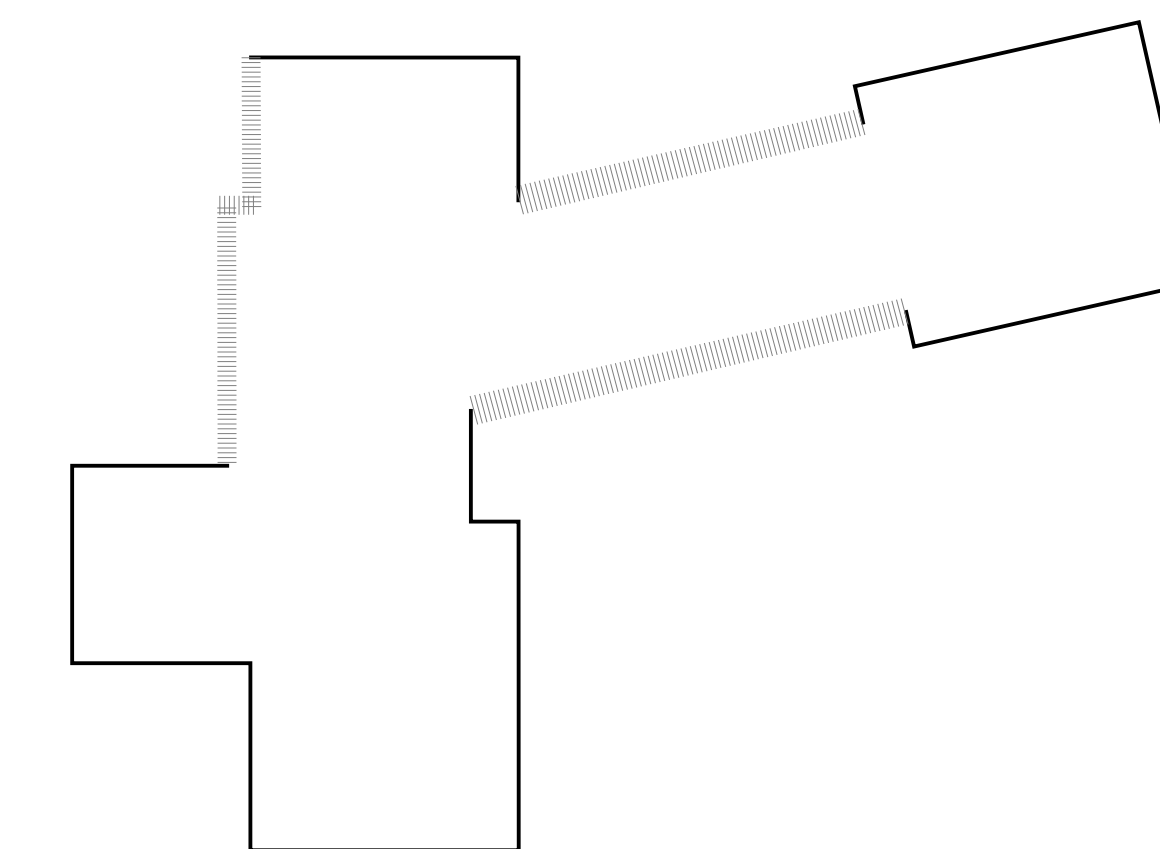
EXISTING MAIN FLOOR

(E) AREA BOUND BY EXTERIOR FACE = 2,783 SF  
150% AREA FOR 12'-16"CLNG = 42 SF  
(E) MAIN FLOOR GROSS FLOOR AREA = 2,825 SF



PROPOSED MAIN FLOOR

PROPOSED AREA BOUND BY EXTERIOR FACE = 2,808 SF  
150% AREA FOR 12'-16"CLNG = 54 SF  
PROPOSED MAIN FLOOR GROSS FLOOR AREA = 2,862 SF



MAIN FLOOR STRUCTURAL WALL ALTERATION CALC

LF OF EXISTING EXTERIOR WALL = 336.41 LF  
LF OF EXTERIOR WALL BEING ALTERED = 102.33 LF  
% OF MAIN FLOOR WALL ALTERATION = 30.4%

2 GROSS FLOOR AREA CALCULATIONS  
A0.2 SCALE: 1/16" = 1'-0"

3 STRUCTURAL WALL ALTERATION CALCULATION  
A0.2 SCALE: 1/16" = 1'-0"

LOT COVERAGE CALCULATIONS:

LOT AREA =	26,775 SF
VEHICLE EASEMENT AREA =	(552) SF
NET LOT AREA =	26,223 SF

LOT COVERAGE CALCULATION:  
LOT SLOPE: (85'-19' / 286.25') \* 100 = 23.0%

MAX ALLOWED LOT COVERAGE (35%) =	9,178 SF
REQUIRED LANDSCAPING (65%) =	17,045 SF

EXISTING LOT COVERAGE (32.3%) = 8,468 SF

- 3,809 SF HOUSE
- 4,659 SF DRIVING SURFACE

PROPOSED LOT COVERAGE (28.5%) = 7,496 SF

- 3,809 SF HOUSE
- 374 SF NEW ACCESSORY STRUCTURE
- 3,313 SF DRIVING SURFACE

MAX ALLOWED HARDSCAPE AREA (9.0%) = 2,360 SF

EXISTING HARDSCAPE AREA (7.6%) = 2,006 SF

- 1,319 SF PAVING
- 503 SF DECKS & STAIRS
- 88 SF ENTRY WALKWAY
- 96 SF RETAINING WALL

PROPOSED HARDSCAPE AREA (7.7%) = 2,014 SF

- 194 SF LOWER TERRACE
- 115 SF STAIR
- 337 SF UPPER DECK
- 187 SF ENTRY WALKWAY
- 123 SF BBQ PATIO
- 914 SF NEW CONCRETE PATHWAY
- 51 SF (E) RETAINING WALL REPLACED W/ NEW
- 93 SF NEW RETAINING WALL

GROSS FLOOR AREA CALCULATIONS: (SEE 2/A0.2)

ZONING: R-15  
MAXIMUM GROSS FLOOR AREA: 10,710 SF (40%)

EXISTING GROSS FLOOR AREA: 3,710 SF (14.1%)

- 885 SF BASEMENT
- 2,825 SF MAIN FLOOR

PROPOSED GROSS FLOOR AREA: 3,798 SF (14.4%)

- 936 SF BASEMENT
- 2,862 SF MAIN FLOOR

TOTAL NET NEW DEVELOPMENT (GFA, LOT COVERAGE & HARDSCAPE): 470 SF\*

- 374 SF NEW LOT COVERAGE
- 88 SF NEW GFA
- 2,014 SF NEW HARDSCAPE
- (2,006) SF (E) HARDSCAPE REMOVED

\* NET NEW DEVELOPMENT AREA < 500 SF DOES NOT REQUIRE SHORELINE NATIVE VEGETATION PLANTING PER MICC 19.13.050(K)(4)

TOTAL STRUCTURAL WALL ALTERATION CALCULATION: (SEE 3/A0.2)

LF OF EXISTING EXTERIOR WALL = 547.41 LF  
LF OF EXTERIOR WALL BEING ALTERED = 35.83 LF  
TOTAL % OF EXTERIOR WALL ALTERATION = 6.54%

CONRAD ROMANO ARCHITECTS

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206 259 4427  
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7046 REGISTERED ARCHITECT  
JAMES PATRICK ROMANO  
STATE OF WASHINGTON

stamp

File Name: VAND A0.1 general info  
Plot Date: 3/15/24  
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	1/26/21	BUILDING PERMIT
	8/31/21	CD SET
	4/20/22	PERMIT REVISION
1	3/15/24	PERMIT REVISION II

Issue For: PERMIT REVISION II  
sheet info

LAND USE CALCS

if scale is not 1", this drawing has been enlarged or reduced  
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A0.2

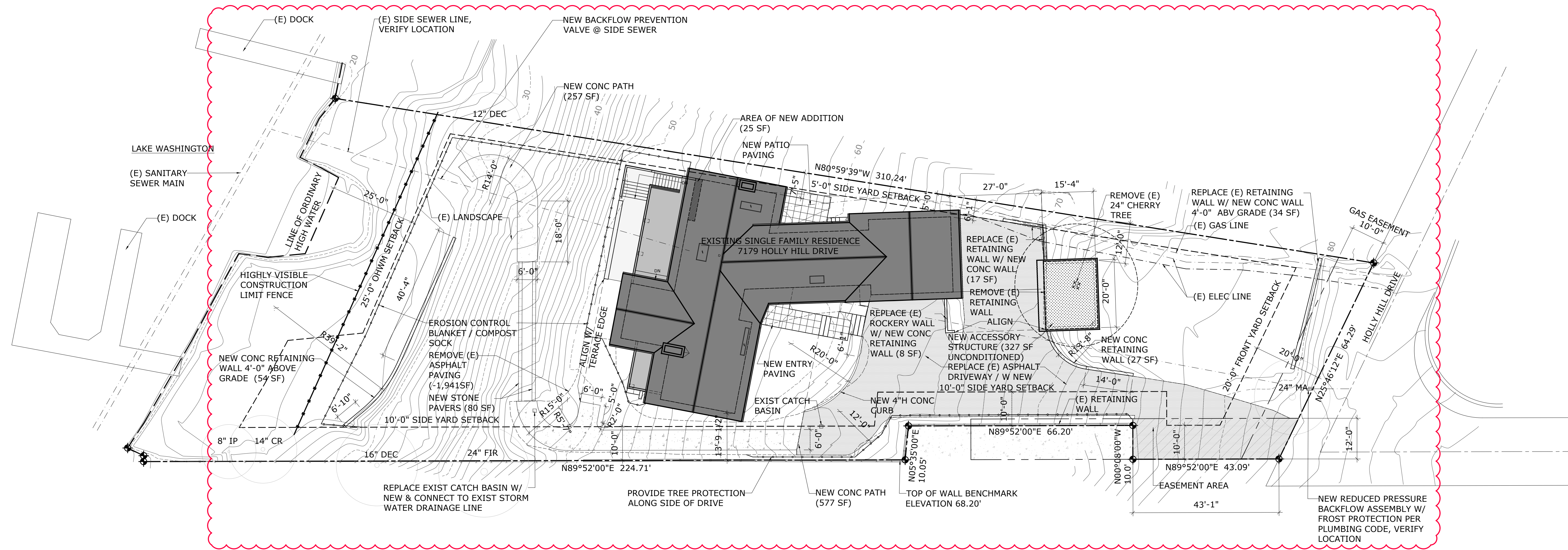
sheet number



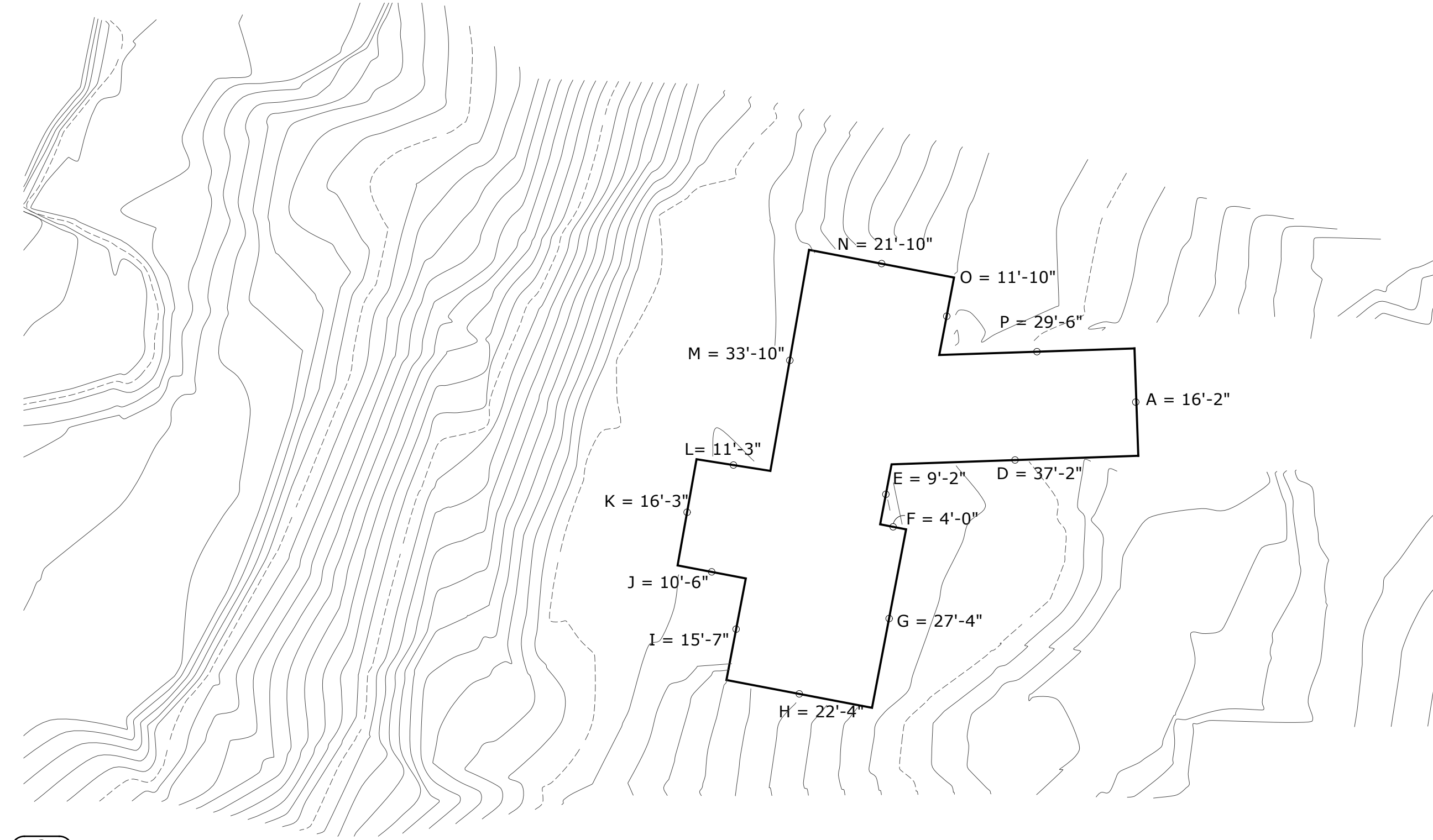
SITE INFORMATION

ASSESSOR'S PARCEL NUMBER: 252404-9049

LEGAL DESCRIPTION:  
 POR GL 3 BEG S 89-52-00 W 3805 FT OF E 1/4 COR OF SEC TH N 25-46-12 E 64.29 FT  
 TH N 80-59-39 W TO SH OF LK WASH TH SWLY ALG SD SH LN TO S LN GL 3 TH ELY TO  
 BEG & SH LDS ADJ LESS BEG SE COR THOF TH N 25-46-12 E 13.34 FT TH S 89-52-00 W  
 48.92 FT TH S 00-08-00 E 2 FT TO TPOB TH CONT S 00-08-00 E 10 FT TO S LN THOF TH  
 WLY ALG SD S LN 67.20 FT TO WLY EDGE OF EXISTING CONCRETE CURB TH N 05-35-00  
 E 10.05 FT TH N 89-52-00 E 66.20 FT TO TPOB



1 SITE PLAN  
 A1.1 SCALE: 1/16" = 1'-0"



2 BASEMENT EXCLUSION AREA CALCULATION  
 A1.1 SCALE: 1/16" = 1'-0"

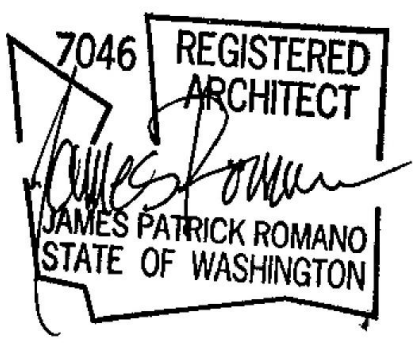
BASEMENT AREA CALCULATION: APPENDIX B

WALL SEGMENT	LENGTH	% COVERAGE	% RESULT
A	16.1	100%	16.10
D	37.1	100%	37.10
E	9.16	100%	9.16
F	4.00	100%	4.00
G	27.30	100%	27.30
H	22.33	48%	10.72
I	15.60	0%	0.00
J	10.50	0%	0.00
K	16.41	0%	0.00
L	11.00	0%	0.00
M	34.00	0%	0.00
N	21.80	36%	7.85
O	11.80	85%	10.03
P	29.50	90%	26.55

TOTAL WALL LENGTH (FT)	266.60	
SUM RESULTS		148.81
TOTAL BASEMENT AREA (SF)	2118	
EXCLUDED BASEMENT AREA (SF)		1182.19
BASEMENT GROSS FLOOR AREA (SF)		935.81

CONARD ROMANO ARCHITECTS

VANDERWALL RESIDENCE  
 7179 HOLLY HILL DRIVE  
 MERCER ISLAND, WA 98040



stamp

File Name: VAND A1.0 site plan  
 Plot Date: 3/15/24  
 Project ID: VAND  
 Drawn: EV  
 Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	8/31/21	CD SET
	12/1/23	PERMIT REVISION
1	3/15/24	PERMIT REVISION II

Issue For: PERMIT REVISION II  
 sheet info

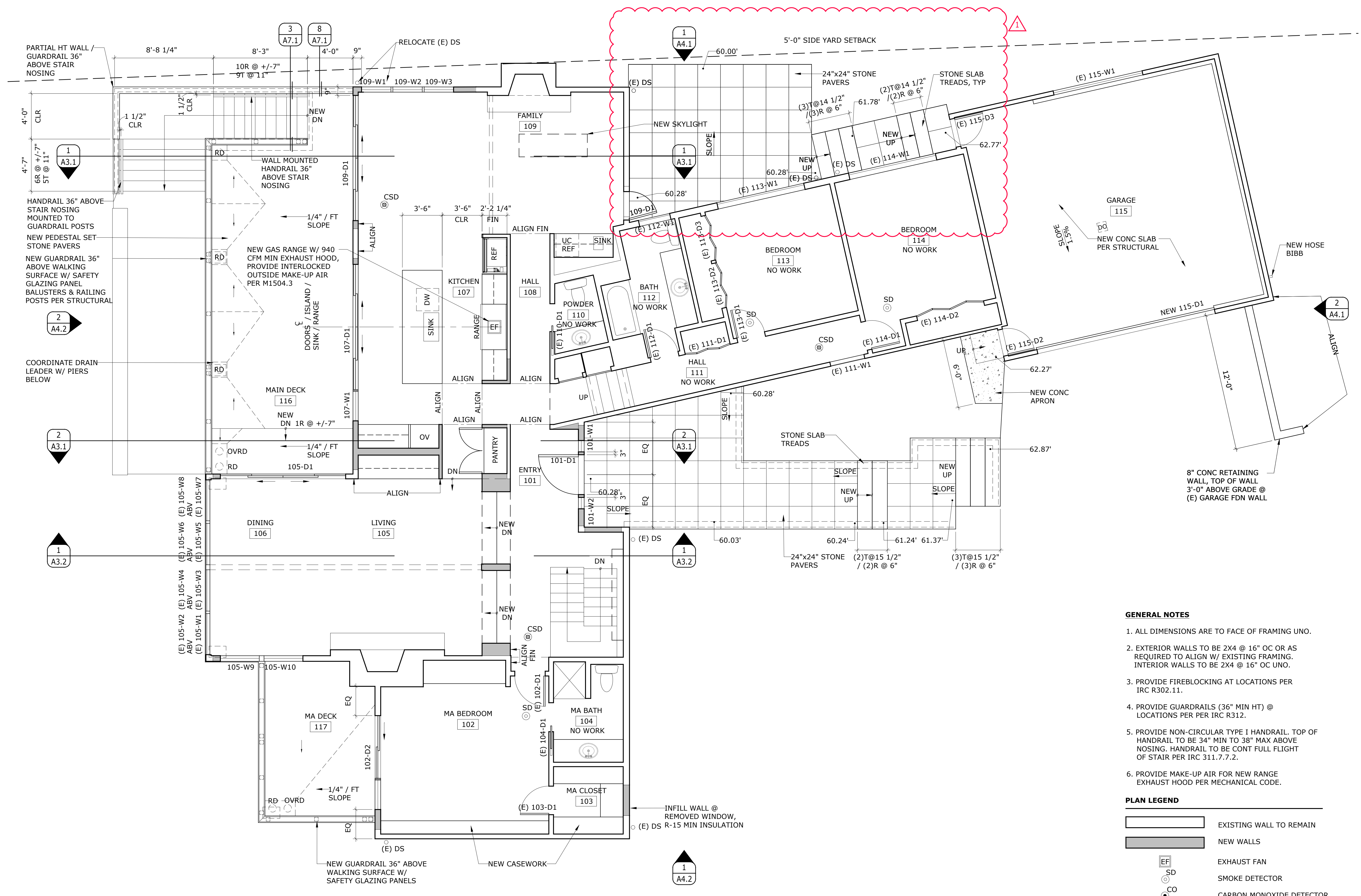
ARCH SITE PLAN

if scale is not 1", this drawing has been enlarged or reduced  
 sheet title

A1.1

sheet number





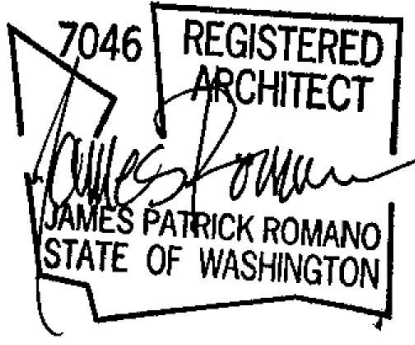
1 MAIN FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO.
  - EXTERIOR WALLS TO BE 2X4 @ 16" OC OR AS REQUIRED TO ALIGN W/ EXISTING FRAMING. INTERIOR WALLS TO BE 2X4 @ 16" OC UNO.
  - PROVIDE FIREBLOCKING AT LOCATIONS PER IRC R302.11.
  - PROVIDE GUARDRAILS (36" MIN HT) @ LOCATIONS PER PER IRC R312.
  - PROVIDE NON-CIRCULAR TYPE I HANDRAIL. TOP OF HANDRAIL TO BE 34" MIN TO 38" MAX ABOVE NOSING. HANDRAIL TO BE CONT FULL FLIGHT OF STAIR PER IRC 311.7.2.
  - PROVIDE MAKE-UP AIR FOR NEW RANGE EXHAUST HOOD PER MECHANICAL CODE.

- PLAN LEGEND**
- EXISTING WALL TO REMAIN
  - NEW WALLS
  - EXHAUST FAN (EF)
  - SMOKE DETECTOR (SD)
  - CARBON MONOXIDE DETECTOR (CO)
  - COMBO SMOKE /CARBON DETECTOR (CSD)
  - HEAT DETECTOR (H)
  - GARAGE DOOR OPENER (DO)

CONARD ROMANO ARCHITECTS

VANDERWALL RESIDENCE  
7179 HOLLY HILL DRIVE  
MERCER ISLAND, WA 98040



stamp

File Name: VAND A2.0 Floor Plans  
Plot Date: 3/15/24  
Project ID: VAND  
Drawn: EV  
Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	5/28/21	PERMIT CORRECTIONS
1	4/20/22	PERMIT REVISION
2	3/15/24	PERMIT REVISION II

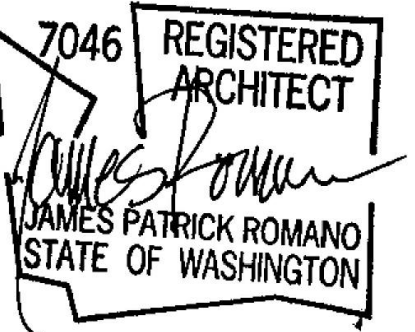
Issue For: PERMIT REVISION II  
sheet info

MAIN FLOOR PLAN

1" = 1'-0"  
if scale is not 1", this drawing has been enlarged or reduced  
sheet title

A2.2

sheet number



stamp

File Name: VAND A2.0 Floor Plans  
Plot Date: 3/15/24  
Project ID: VAND  
Drawn: EV  
Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	5/28/21	PERMIT CORRECTIONS
1	4/20/22	PERMIT REVISION
2	3/15/24	PERMIT REVISION II

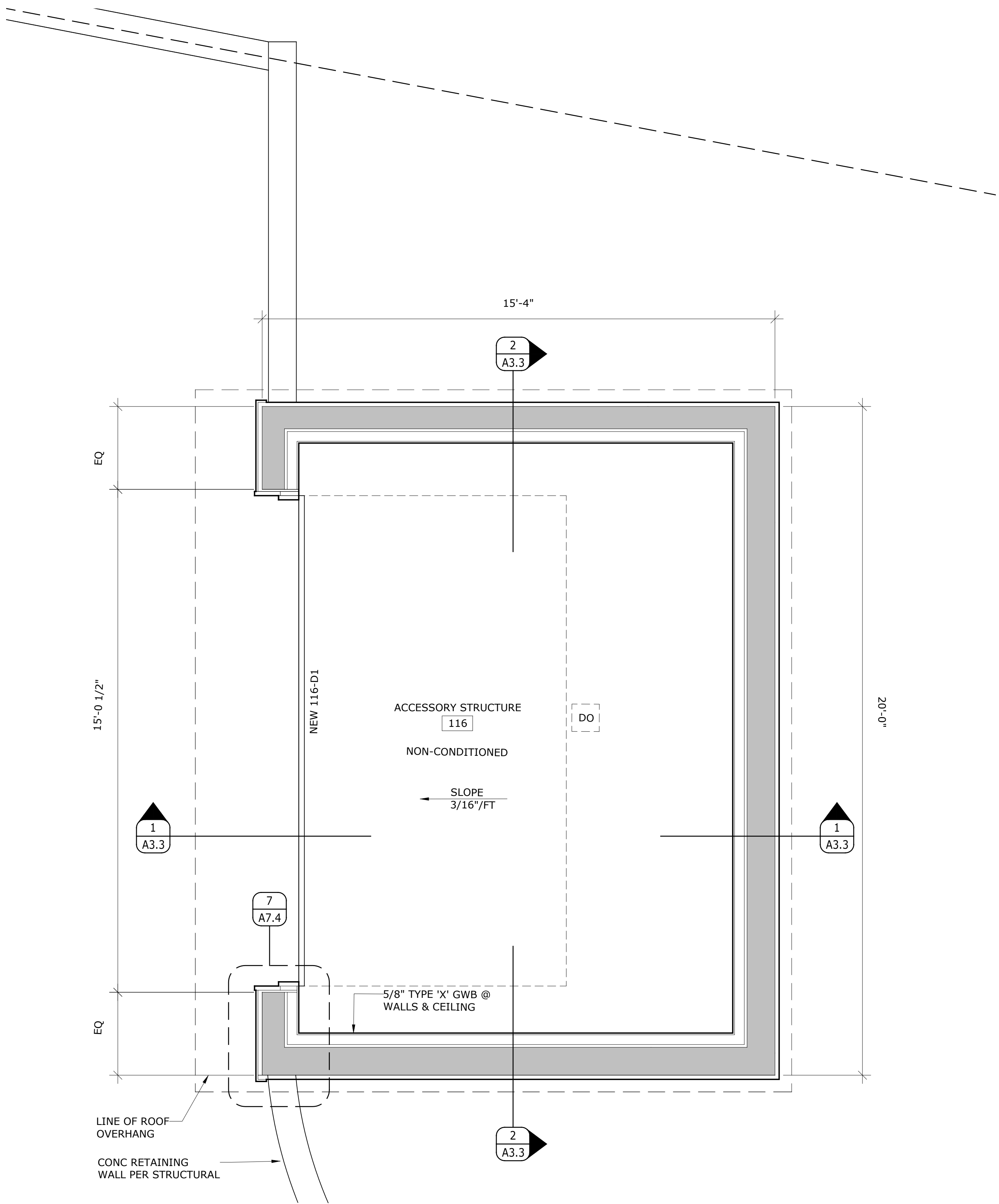
Issue For: PERMIT REVISION II  
sheet info

## ACCESSORY STRUCTURE PLANS

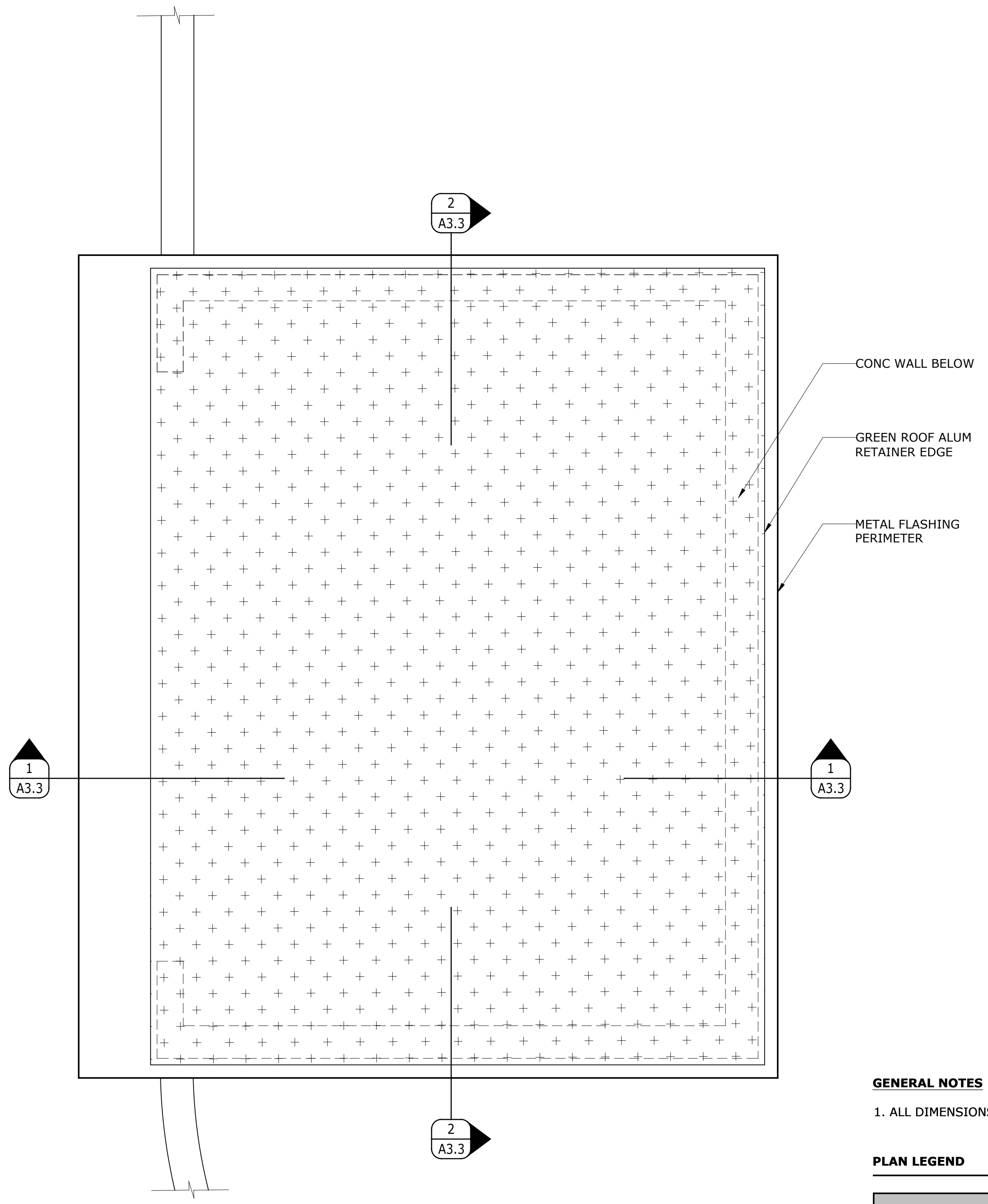
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sheet title

# A2.4

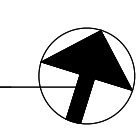
sheet number



1 ACCESSORY STRUCTURE FLOOR PLAN  
A2.4 SCALE: 1/2" = 1'-0"



2 ACCESSORY STRUCTURE ROOF PLAN  
A2.4 SCALE: 1/2" = 1'-0"



### GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE

### PLAN LEGEND

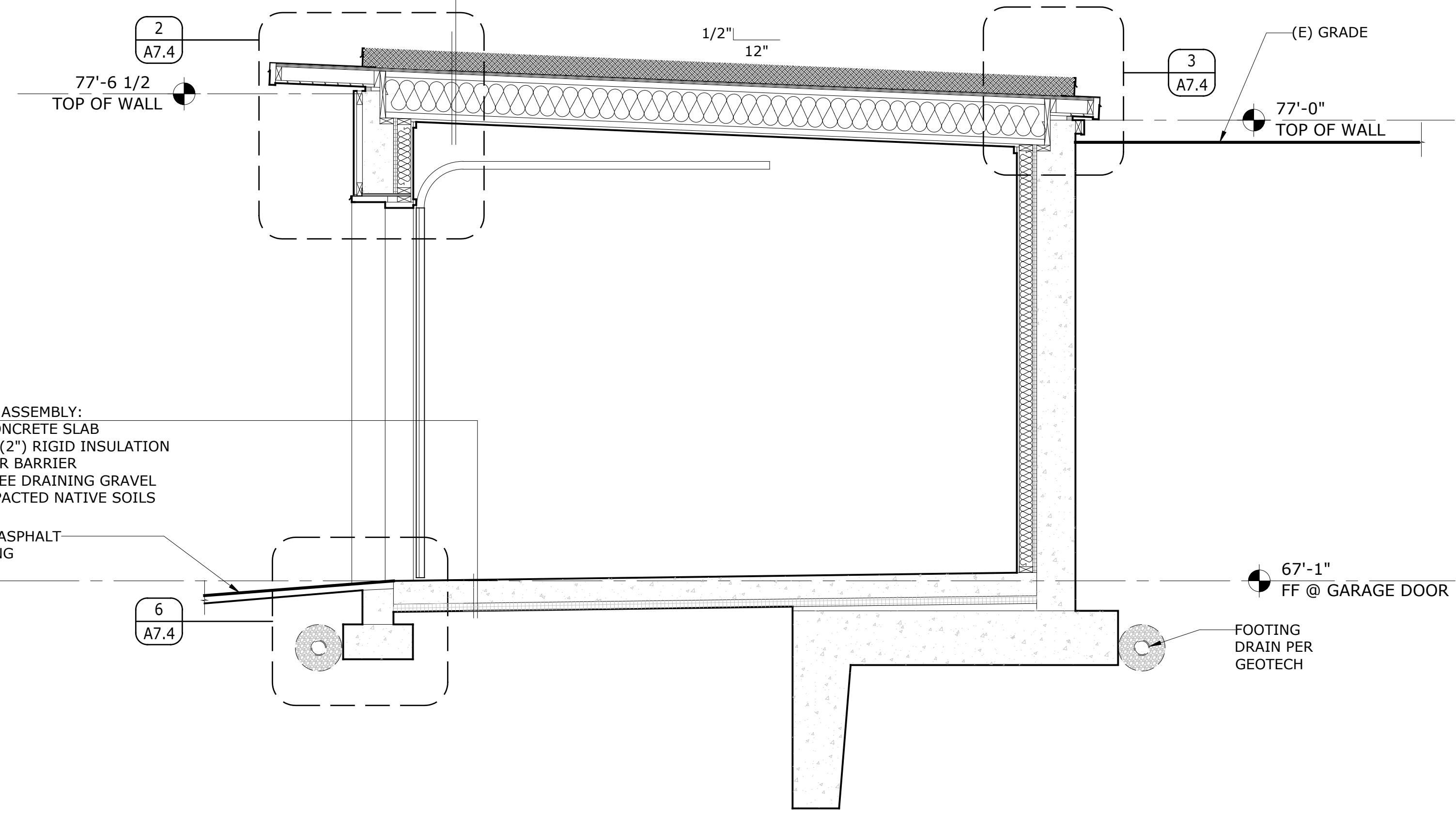
- NEW WALLS
- EF EXHAUST FAN
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- CSD COMBO SMOKE /CARBON DETECTOR
- H HEAT DETECTOR
- DO GARAGE DOOR OPENER



- GREEN ROOF ASSEMBLY:**
- 4" SOIL MEDIUM MODULAR GREEN ROOF TRAY SYSTEM
  - FILTER FABRIC
  - DRAINAGE MAT
  - WATERPROOF MEMBRANE
  - 3/4" T&G MARINE GRADE PLYWOOD PER STRUCTURAL
  - ROOF JOIST PER STRUCTURAL
  - 5/8" TYPE "X" GWB CLNG, PTD

- FLOOR ASSEMBLY:**
- 6" CONCRETE SLAB
  - R-10 (2") RIGID INSULATION
  - VAPOR BARRIER
  - 6" FREE DRAINING GRAVEL
  - COMPACTED NATIVE SOILS

NEW ASPHALT  
PAVING



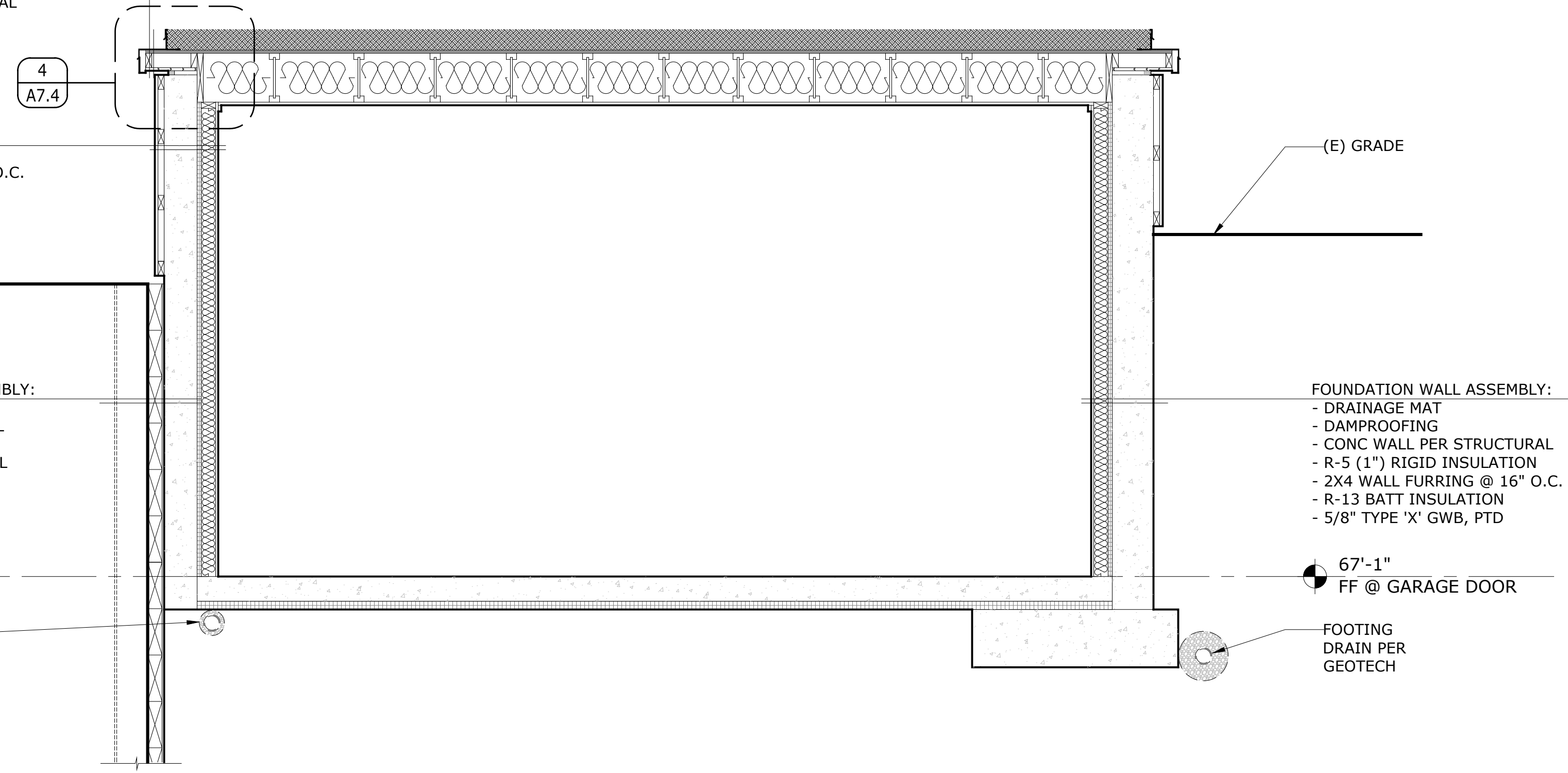
**1 BUILDING SECTION**  
A3.3 SCALE: 1/2" = 1'-0"

- EAVE ASSEMBLY:**
- FLAT SEAM METAL FLASHING
  - WATERPROOF MEMBRANE
  - 3/4" T&G MARINE GRADE PLYWOOD PER STRUCTURAL
  - 2X4 OUTLOOKERS PER STRUCTURAL
  - 1X4 T&G SOFFIT, STN

- WALL ASSEMBLY:**
- 1X6 VERT WOOD SIDING, STN
  - 2X4 P.T. HORIZ FURRING @ 16" O.C.
  - CONC WALL PER STRUCTURAL
  - R-5 (1") RIGID INSULATION
  - 2X4 WALL FURRING @ 16" O.C.
  - R-13 BATT INSULATION
  - 5/8" TYPE "X" GWB, PTD

- PERMANENT SHORING WALL ASSEMBLY:**
- SOLDIER PILE PER STRUCTURAL
  - WOOD LAGGING PER STRUCTURAL
  - DRAINAGE MAT
  - CONCRETE WALL PER STRUCTURAL

BELOW SLAB DRAINAGE,  
CONNECT TO (E) STORM  
DRAIN SYSTEM



- FOUNDATION WALL ASSEMBLY:**
- DRAINAGE MAT
  - DAMPROOFING
  - CONC WALL PER STRUCTURAL
  - R-5 (1") RIGID INSULATION
  - 2X4 WALL FURRING @ 16" O.C.
  - R-13 BATT INSULATION
  - 5/8" TYPE "X" GWB, PTD

67'-1"  
FF @ GARAGE DOOR

FOOTING  
DRAIN PER  
GEOTECH

**2 BUILDING SECTION**  
A3.3 SCALE: 1/2" = 1'-0"



stamp

File Name: VAND A3.0 Building Sect  
Plot Date: 3/15/24  
Project ID: VAND  
Drawn: EV  
Checked: JR

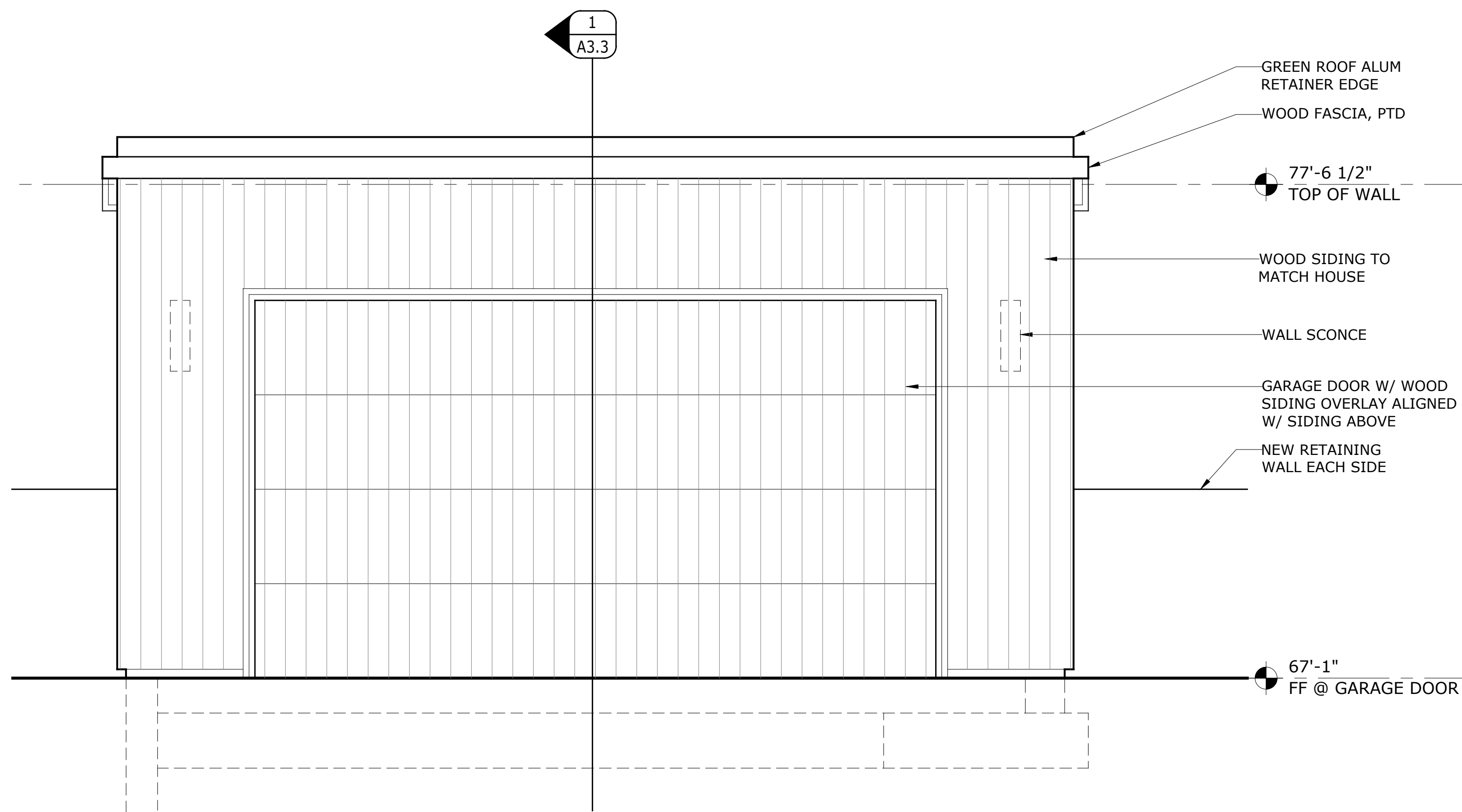
mark	date	issue description
△	3/15/24	PERMIT REVISION II

Issue For: PERMIT REVISION II  
sheet info

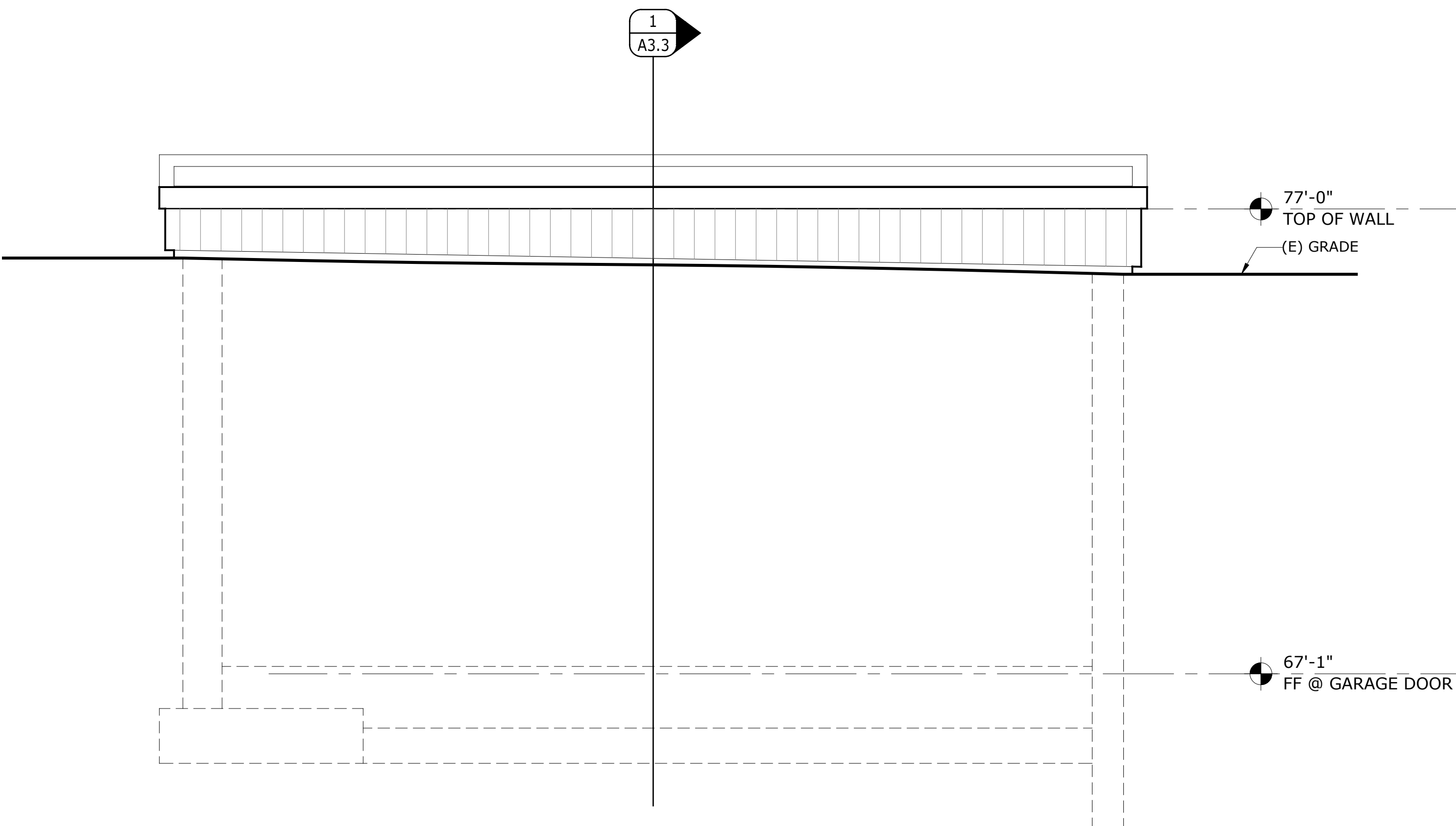
**BUILDING SECTION**

1  
if scale is not 1", this drawing has been enlarged or reduced  
sheet title

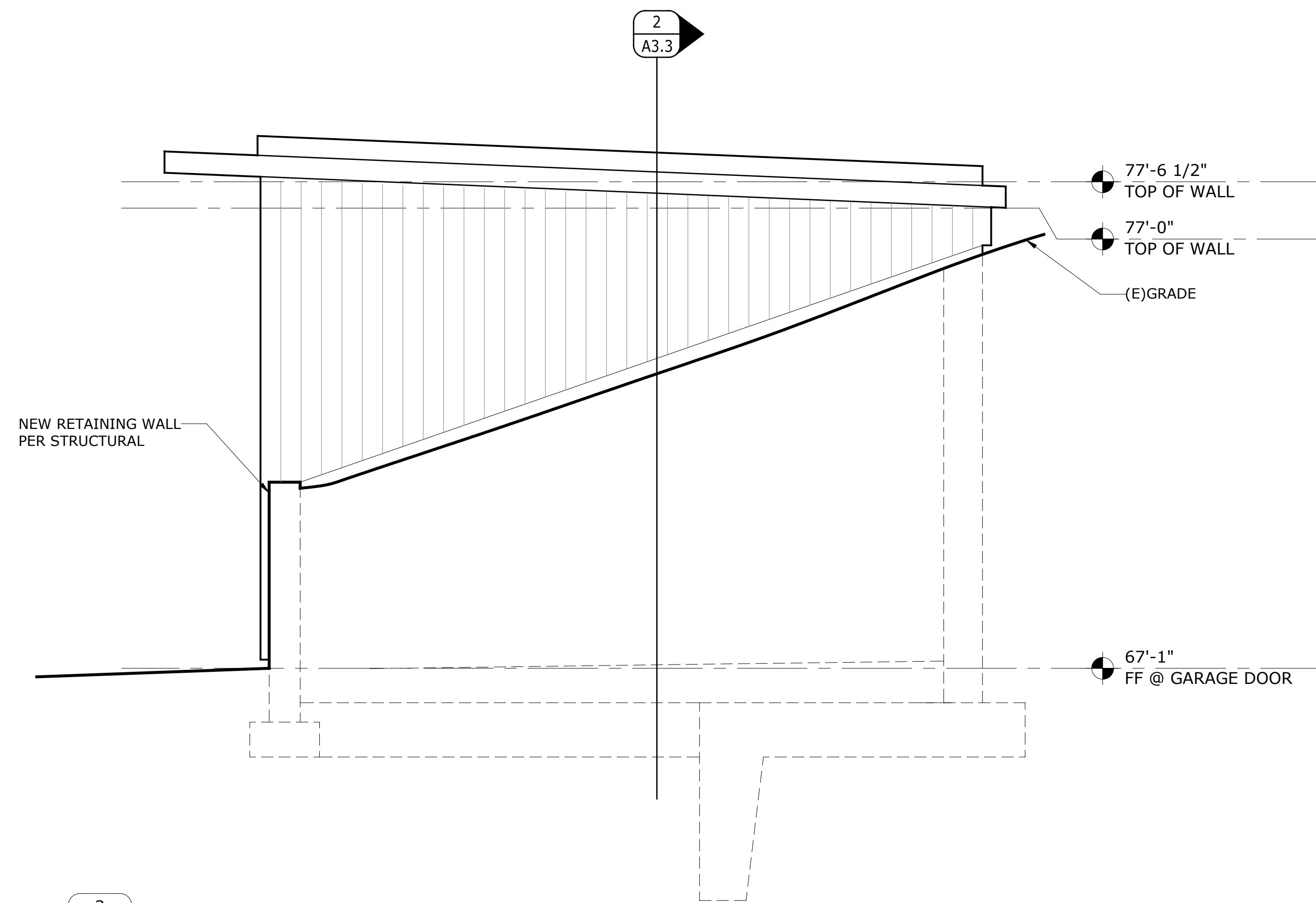
**A3.3** △



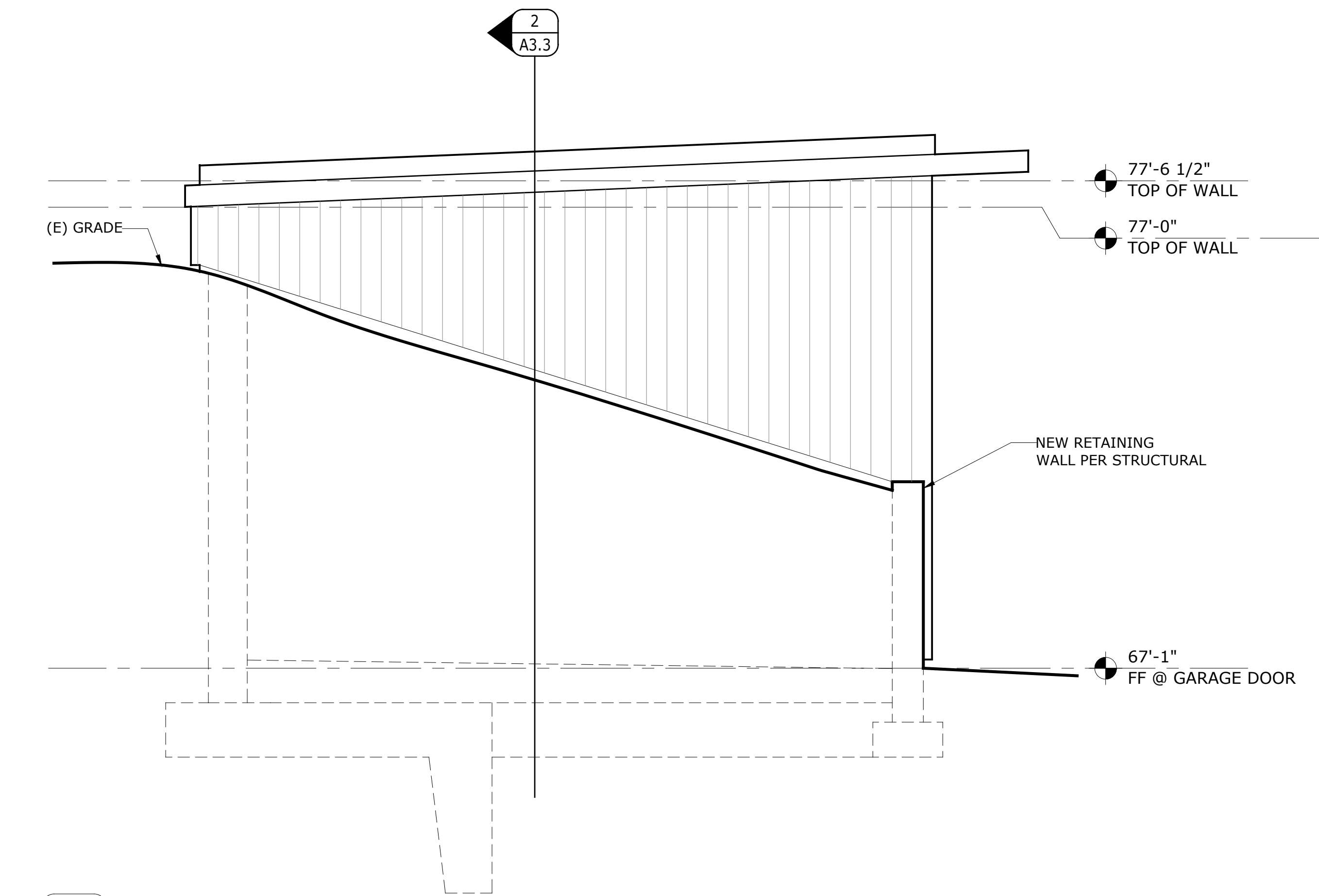
1 WEST ELEVATION  
A4.3 SCALE: 1/2" = 1'-0"



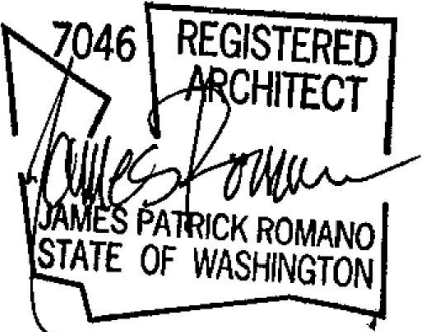
3 EAST ELEVATION  
A4.3 SCALE: 1/2" = 1'-0"



2 SOUTH ELEVATION  
A4.3 SCALE: 1/2" = 1'-0"



4 NORTH ELEVATION  
A4.3 SCALE: 1/2" = 1'-0"



stamp

File Name: VAND A4.0 Ext. Elevations  
Plot Date: 3/15/24  
Project ID: VAND  
Drawn: EV  
Checked: JR

mark	date	issue description
▲	1/26/24	BUILDING PERMIT
▲	3/15/24	PERMIT REVISION II

Issue For: PERMIT REVISION II  
sheet info

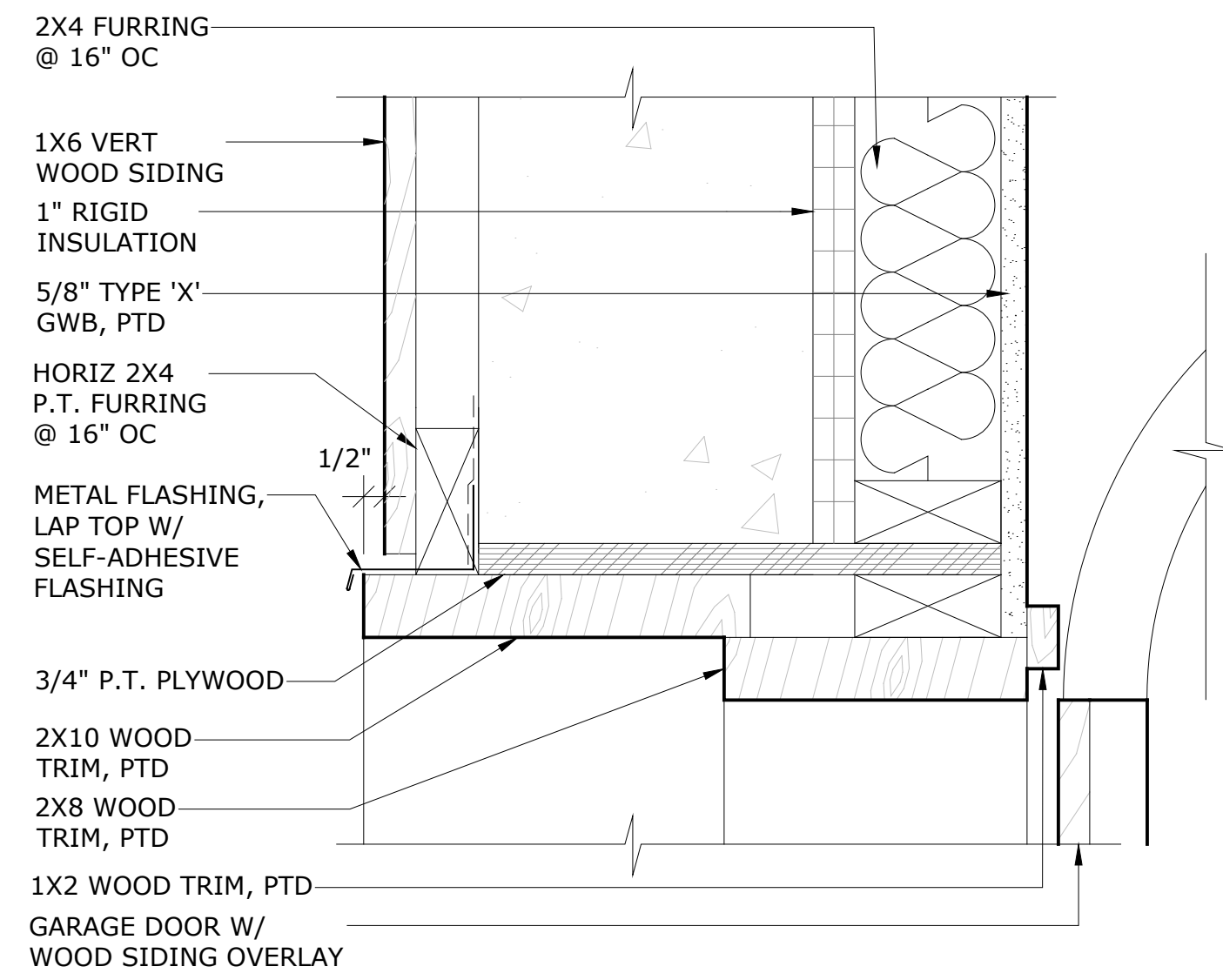
EXTERIOR ELEVATION

if scale is not 1", this drawing has been enlarged or reduced  
sheet title

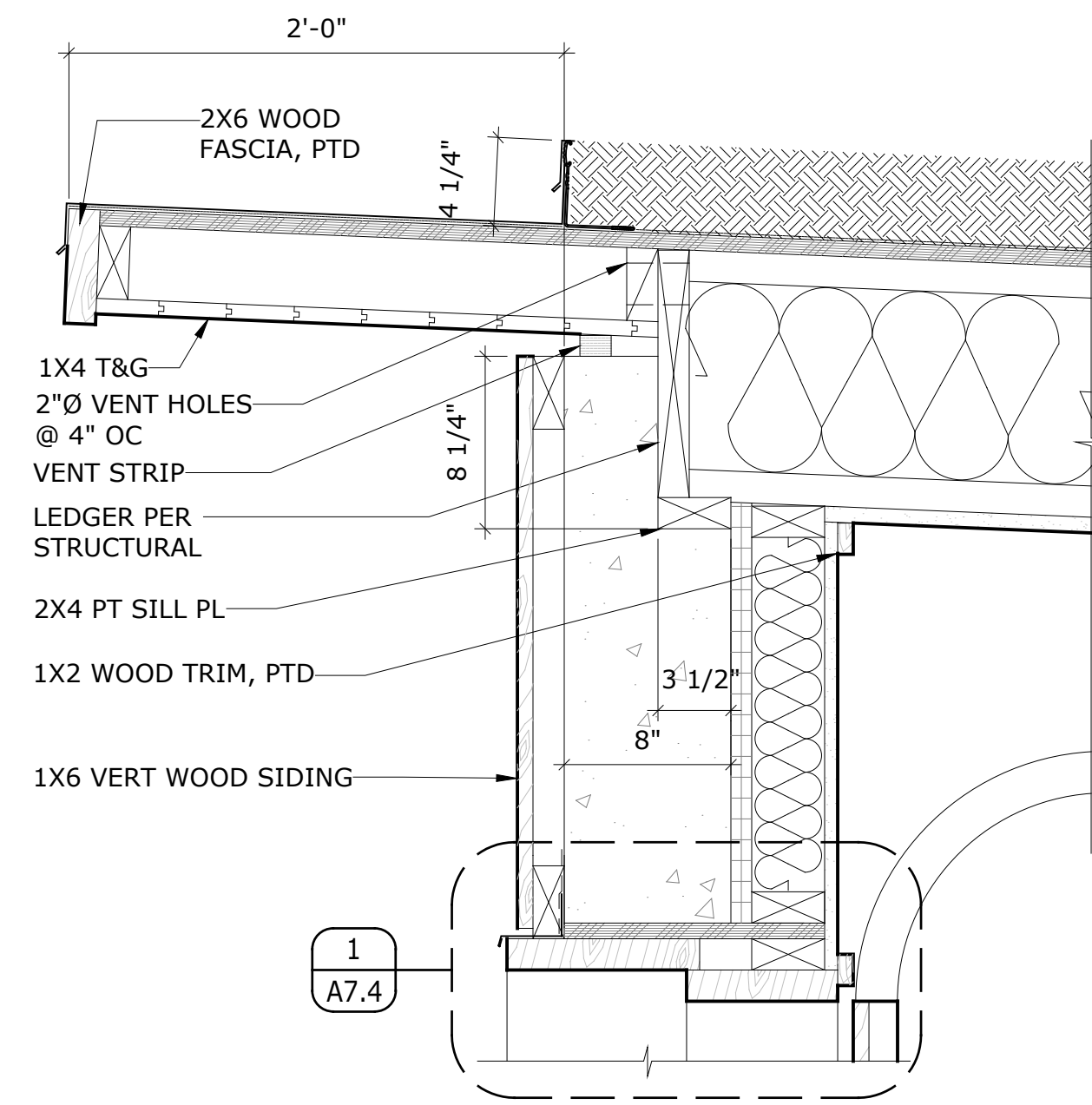
A4.3 ▲

sheet number

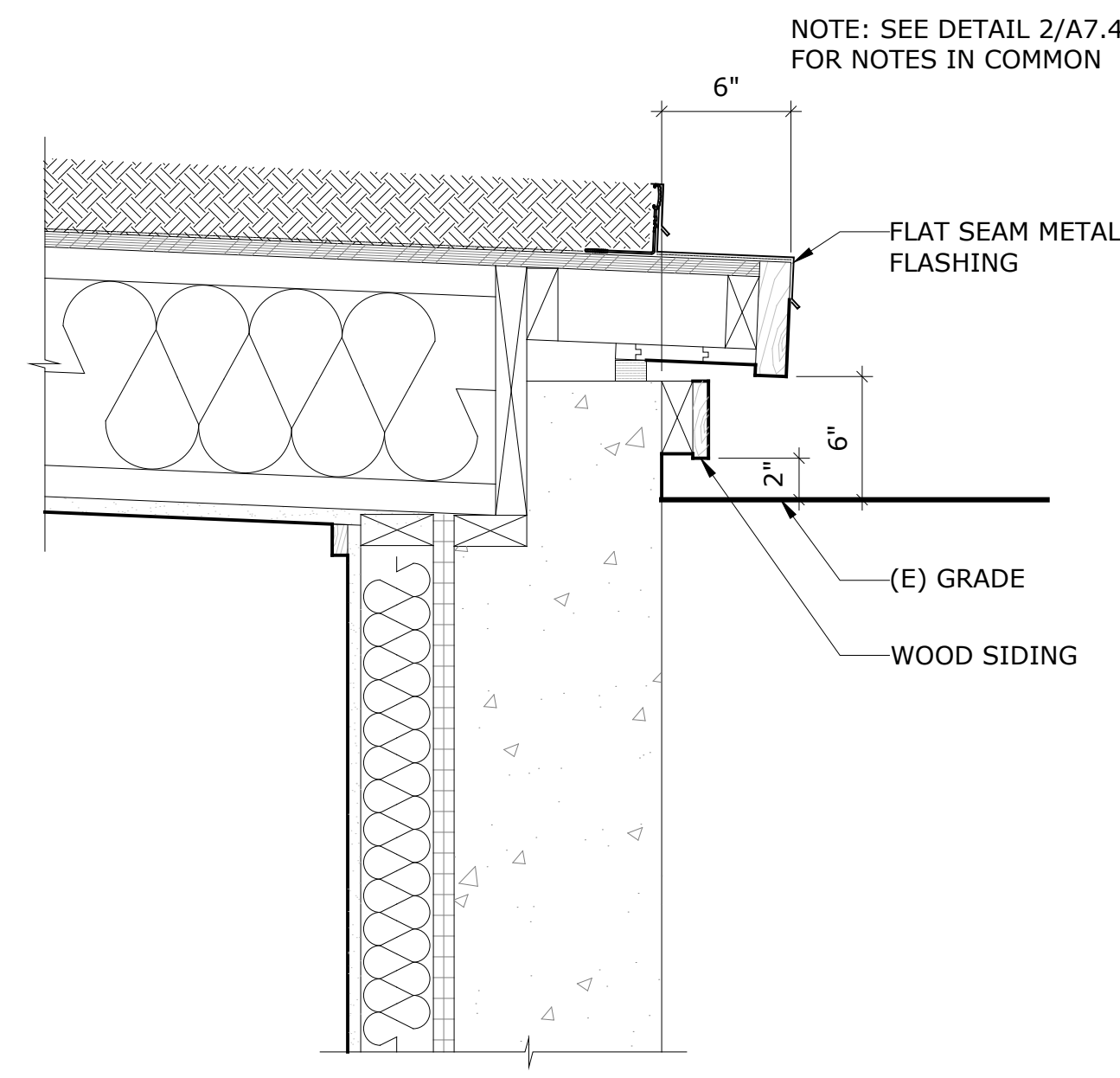




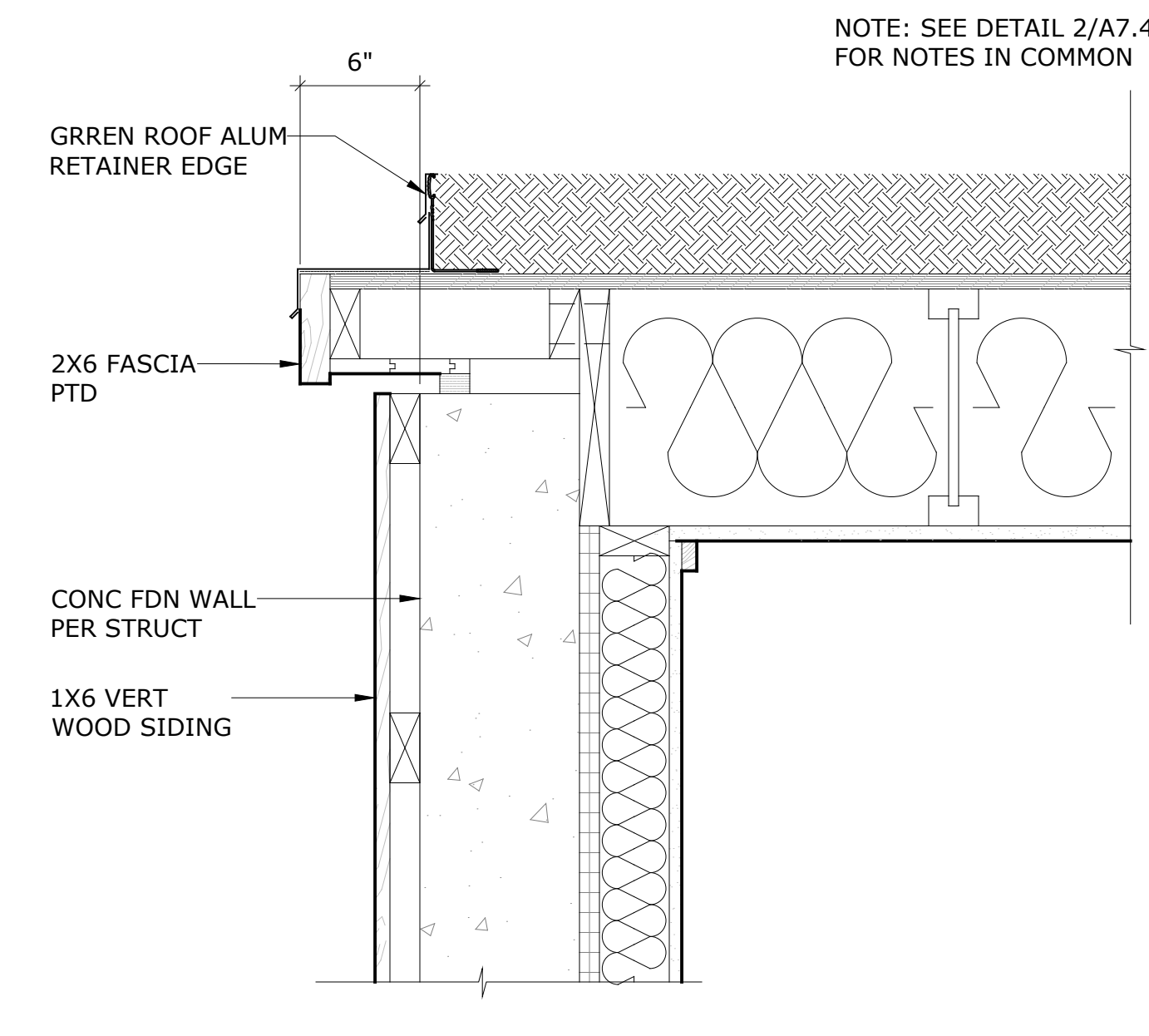
**1** GARAGE DOOR HEAD DETAIL  
A7.4 3" = 1'-0"



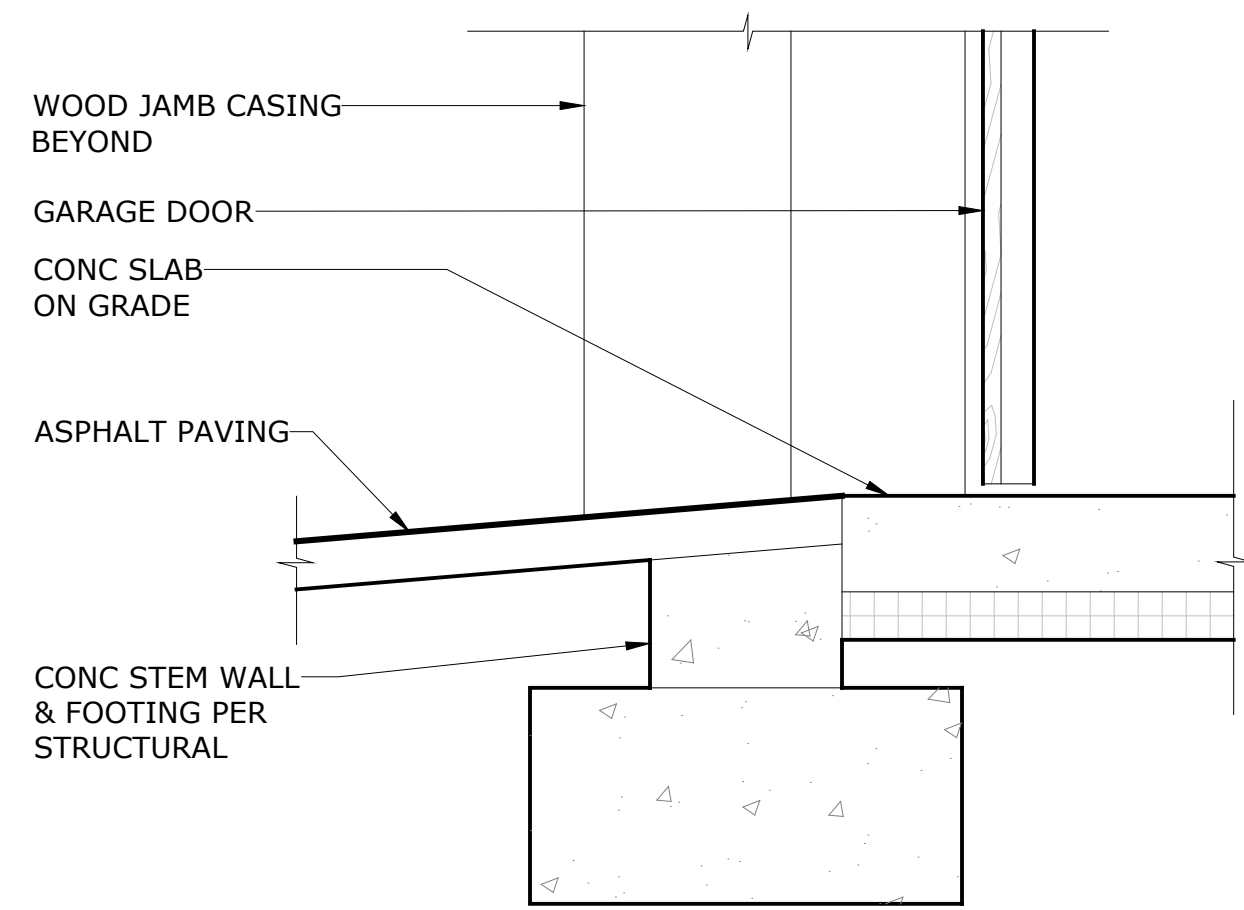
**2** ROOF EAVE DETAIL  
A7.4 1 1/2" = 1'-0"



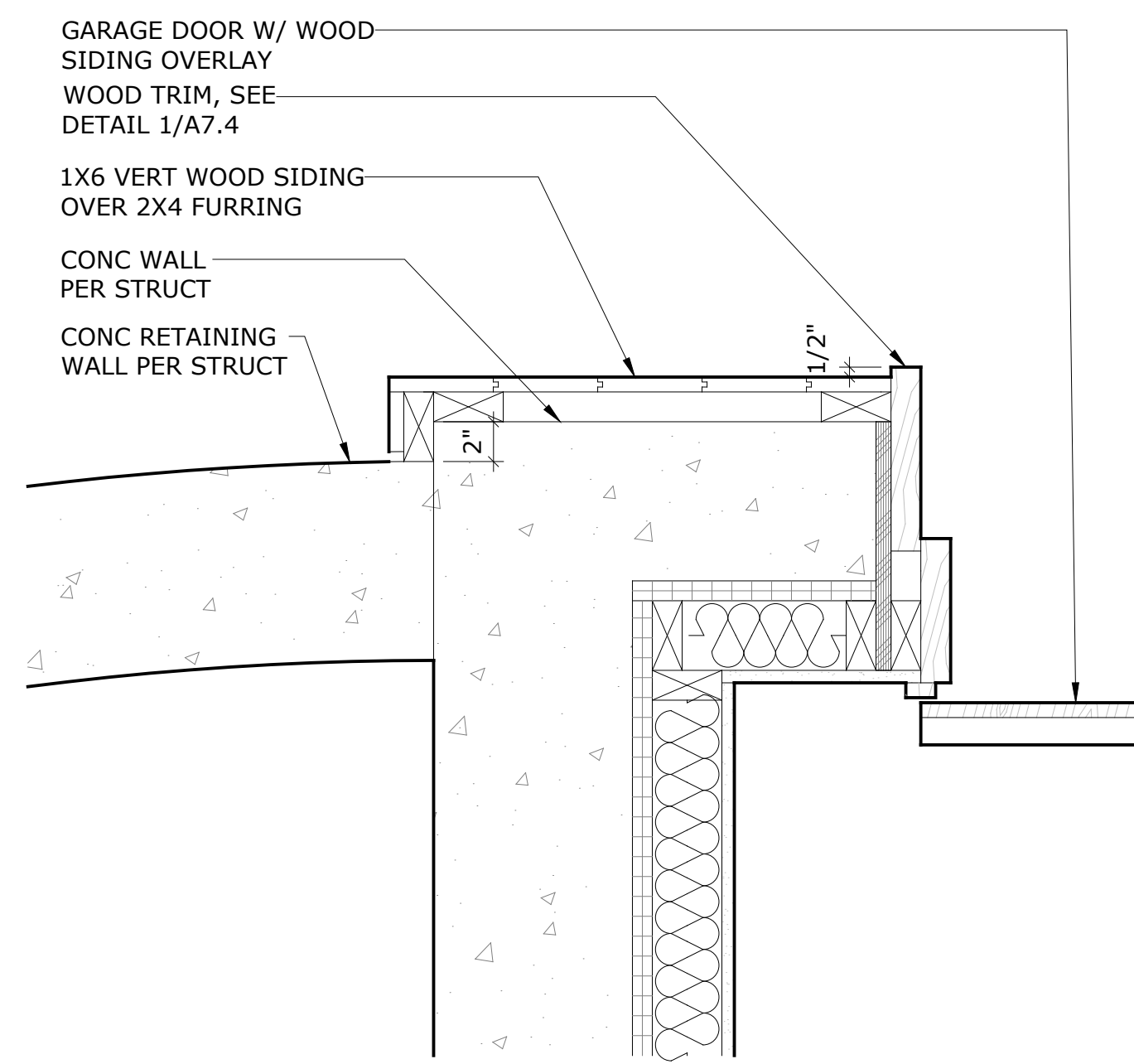
**3** ROOF EAVE DETAIL  
A7.4 1 1/2" = 1'-0"



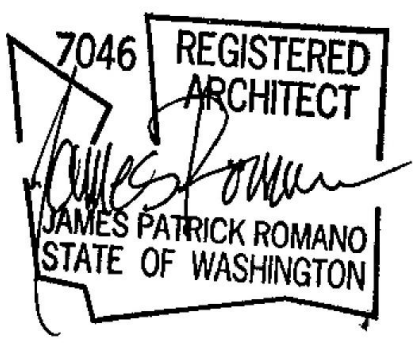
**4** ROOF RAKE DETAIL  
A7.4 1 1/2" = 1'-0"



**6** GARAGE DOOR SILL DETAIL  
A7.4 1 1/2" = 1'-0"



**7** GARAGE DOOR JAMB DETAIL  
A7.4 1 1/2" = 1'-0"



stamp

File Name: VAND A7.0 EXT DETAILS  
Plot Date: 3/15/24  
Project ID: VAND  
Drawn: EV  
Checked: JR

mark	date	issue description
⚠	3/15/24	PERMIT REVISION II

Issue For: PERMIT REVISION II  
sheet info

EXTERIOR  
DETAILS

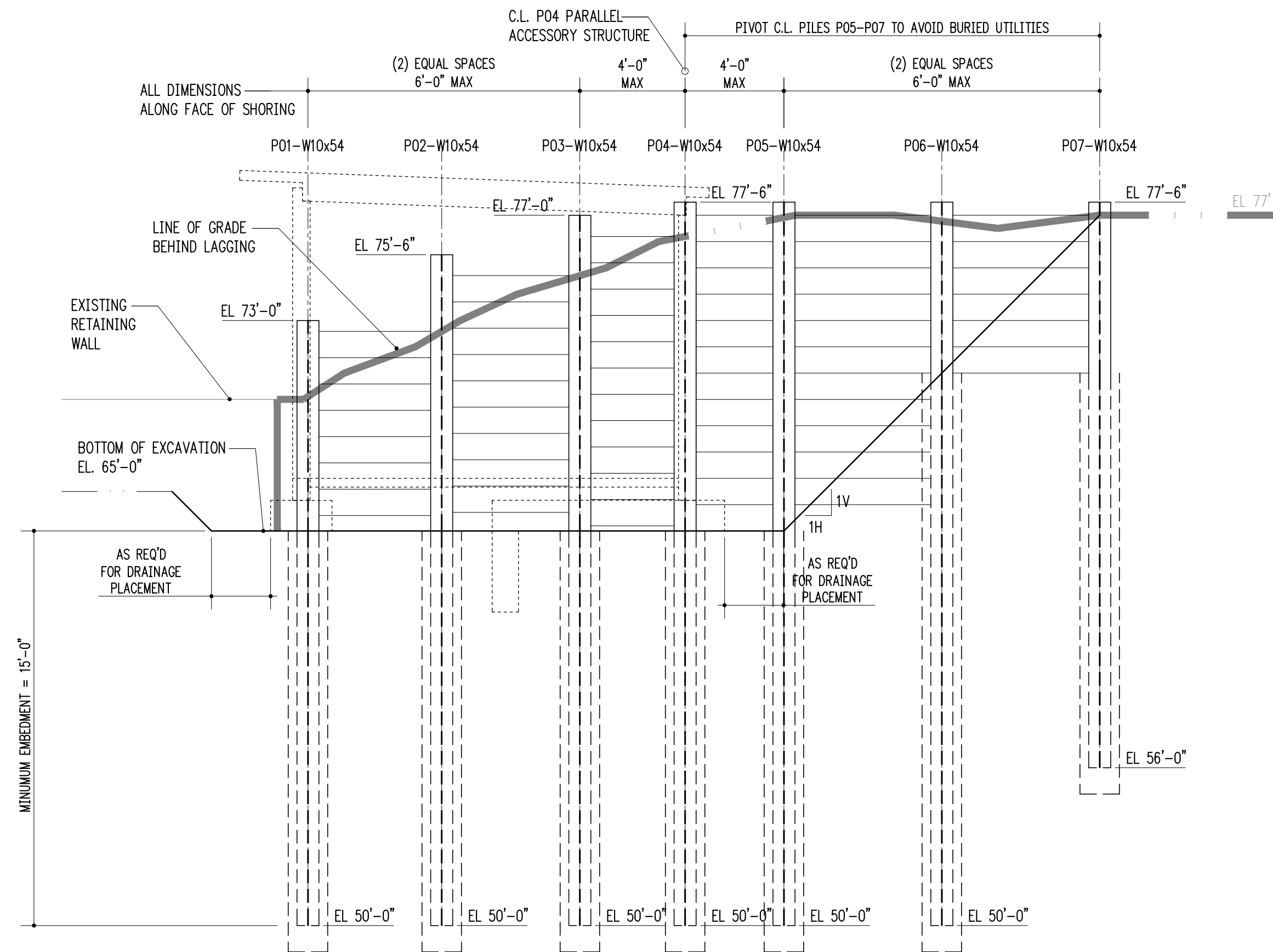
if scale is not 1", this drawing has been enlarged or reduced  
sheet title

A7.4 ⚠



**SHORING AND GRADING NOTES**

- EXISTING GRADES BASED ON SURVEY BY OTHERS. FIELD VERIFY ALL ELEVATIONS AND COORDINATE WITH ARCHITECTURAL PLANS.
- SEE 10/S3.4 FOR GENERAL NOTES AND DESIGN PRESSURE DIAGRAMS FOR SHORING.
- ALL GRADING MUST BE STABILIZED BY OCTOBER 31. NO EXCAVATION OR FILL PLACEMENT CAN BE PERFORMED BETWEEN OCTOBER 31 AND APRIL 1.
- TEMPORARY GRADING SLOPE SHALL NOT EXCEED 1.0 VERTICAL MAXIMUM TO 1.0 HORIZONTAL MINIMUM.

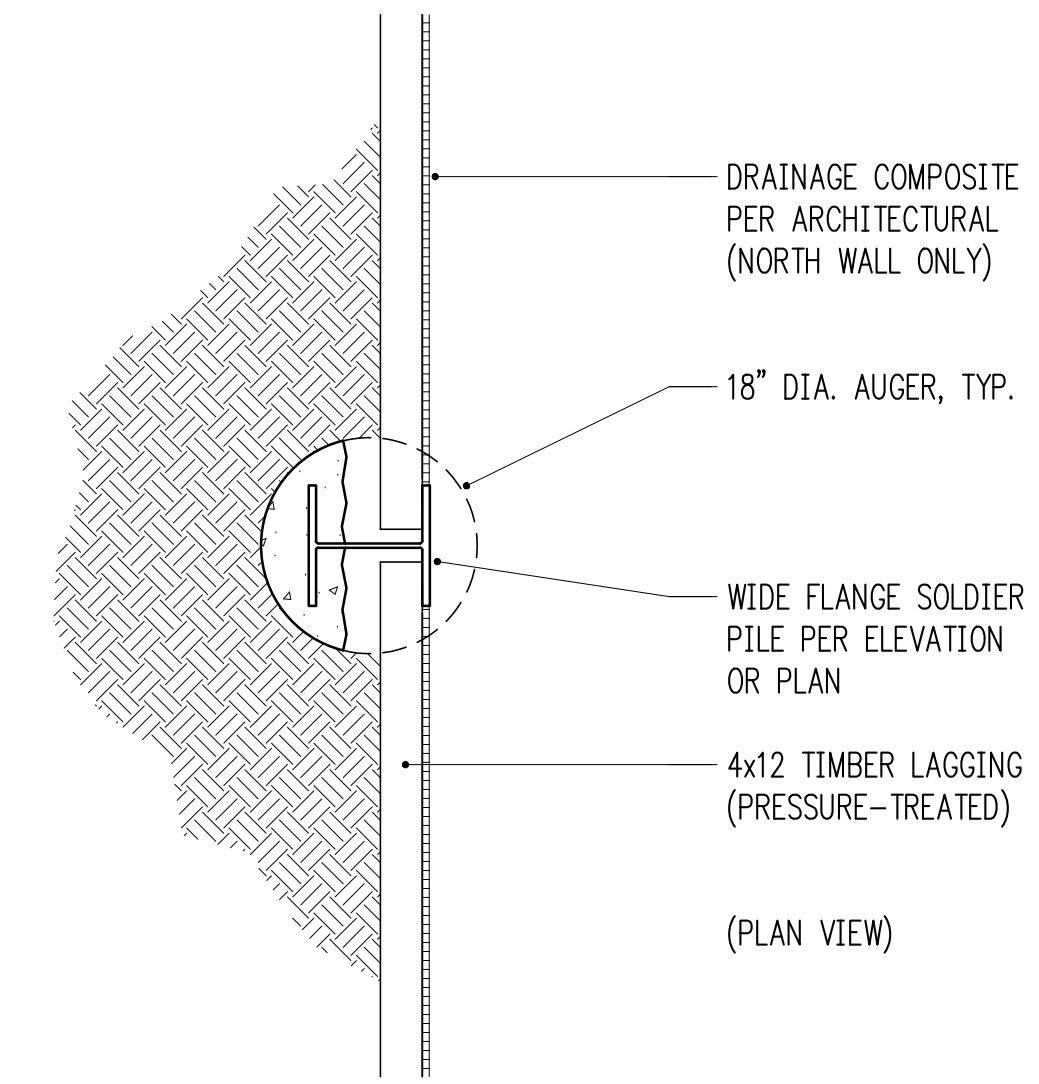
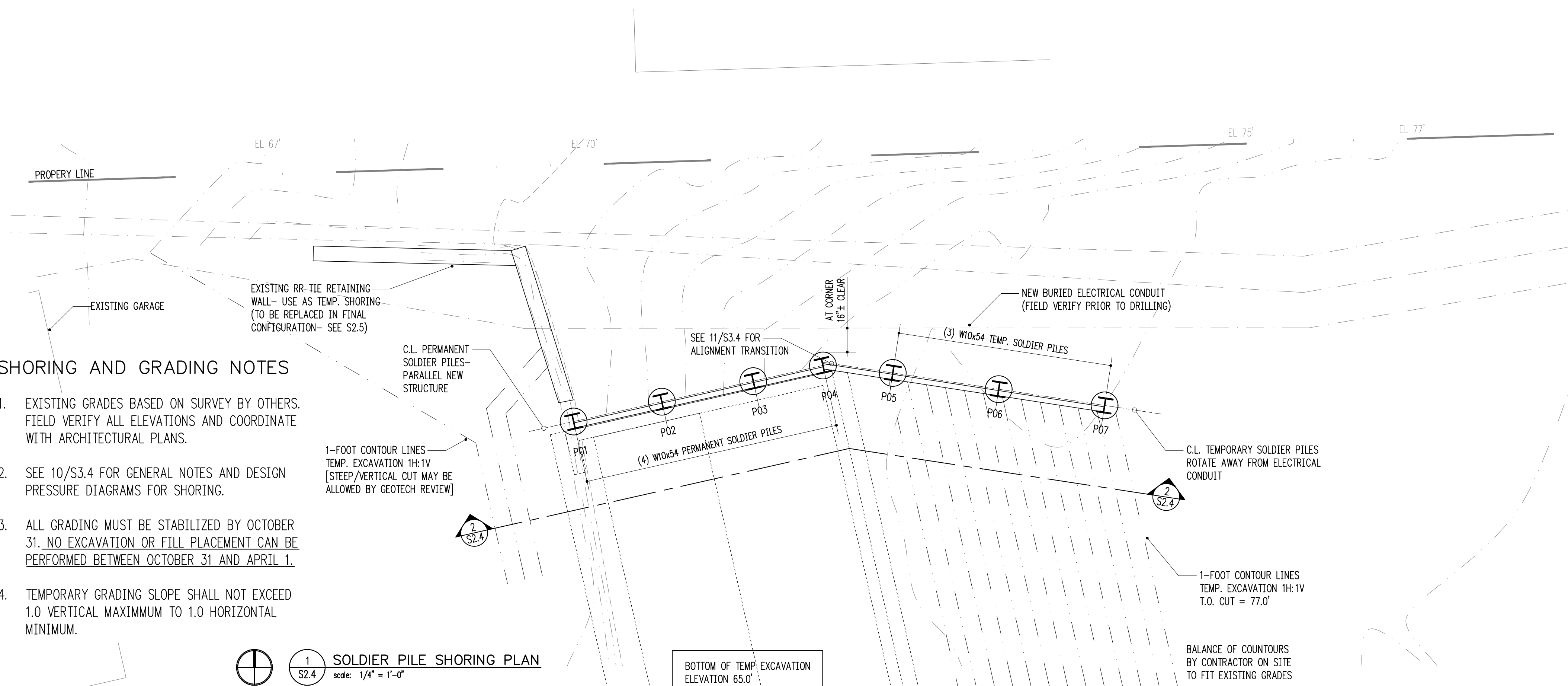


**2** TEMPORARY SHORING ELEVATION (LOOKING NORTH)  
 S2.4 scale: 1/4" = 1'-0"

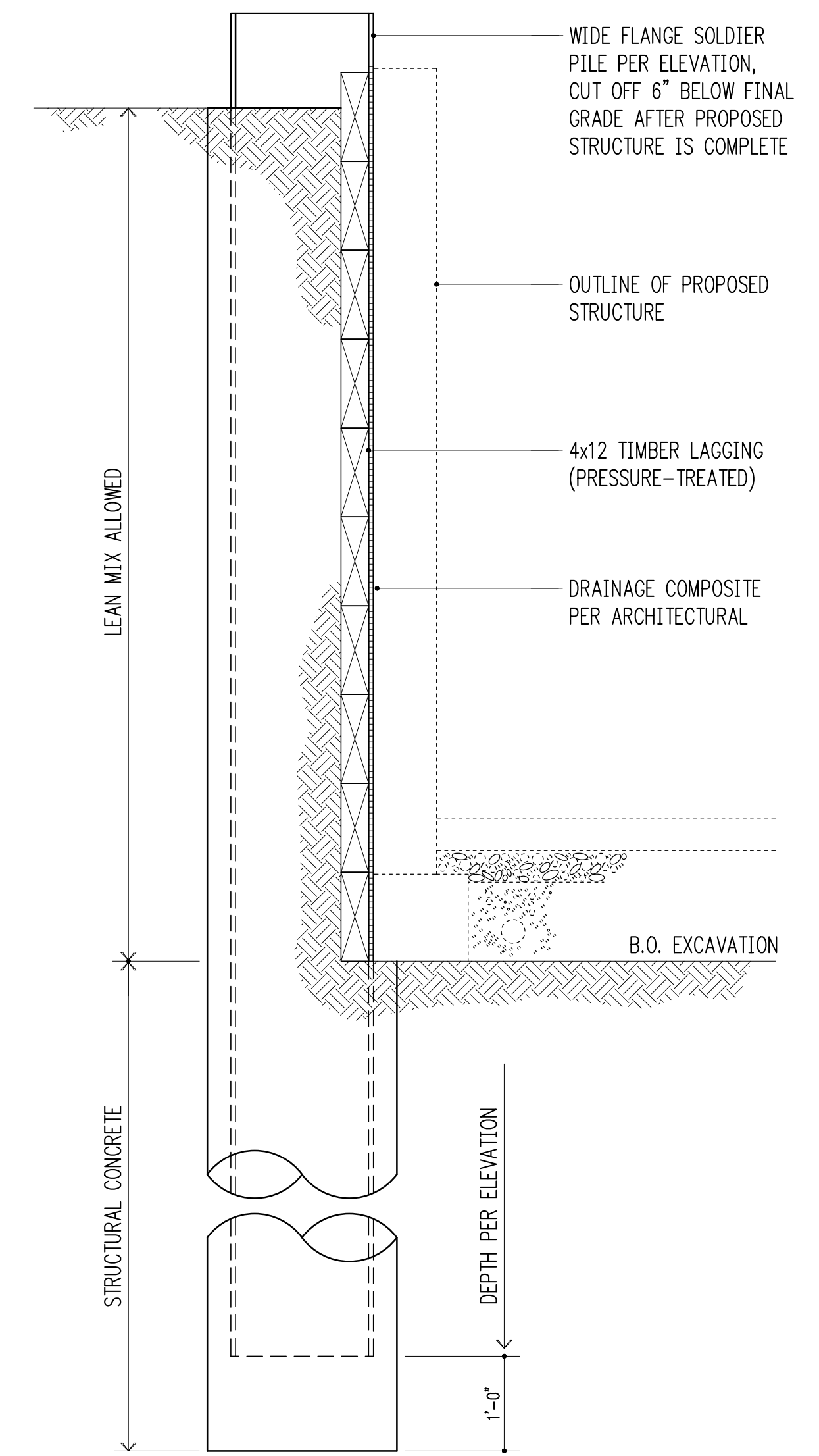
**SHORING AND GRADING NOTES**

- EXISTING GRADES BASED ON SURVEY BY OTHERS. FIELD VERIFY ALL ELEVATIONS AND COORDINATE WITH ARCHITECTURAL PLANS.
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- TEMPORARY GRADING SLOPE SHALL NOT EXCEED 1.0 VERTICAL MAXIMUM TO 1.0 HORIZONTAL MINIMUM.

**1** SOLDIER PILE SHORING PLAN  
 S2.4 scale: 1/4" = 1'-0"



3/4" = 1'-0" **3**



3/4" = 1'-0" **5**



**Project Contact**  
 Kathryn Warner  
 tel 206 624 4760 ex. 24  
 fax 206 447 6971  
 kwarn@harriottvalentine.com

**Project Architect**  
 Conard Romano Architects  
 518 28th Avenue East  
 Seattle, WA 98112

**Project**  
**Vanderwall Residence**  
 7179 Holly Hill Drive  
 Mercer Island, WA 98040

Issue Date	Issue Description
1/25/2021	Permit Submittal
05/26/21	Corrections 1
08/31/21	Issued for Constr./Rev 1
10/11/21	Rev 2-Pile Placement Only
10/20/21	Rev 2-AsBuilt/Field Mods
4/20/22	Rev 3-Crawlspace Convers.
12/7/23	Rev 4-ADD Site Accessories

**Building Department Approval**

**Drawing Title**  
**SHORING PLAN AND ELEVATION AND DETAILS**

**Drawing Number**

**S2.4**

VANDERWALL RESIDENCE

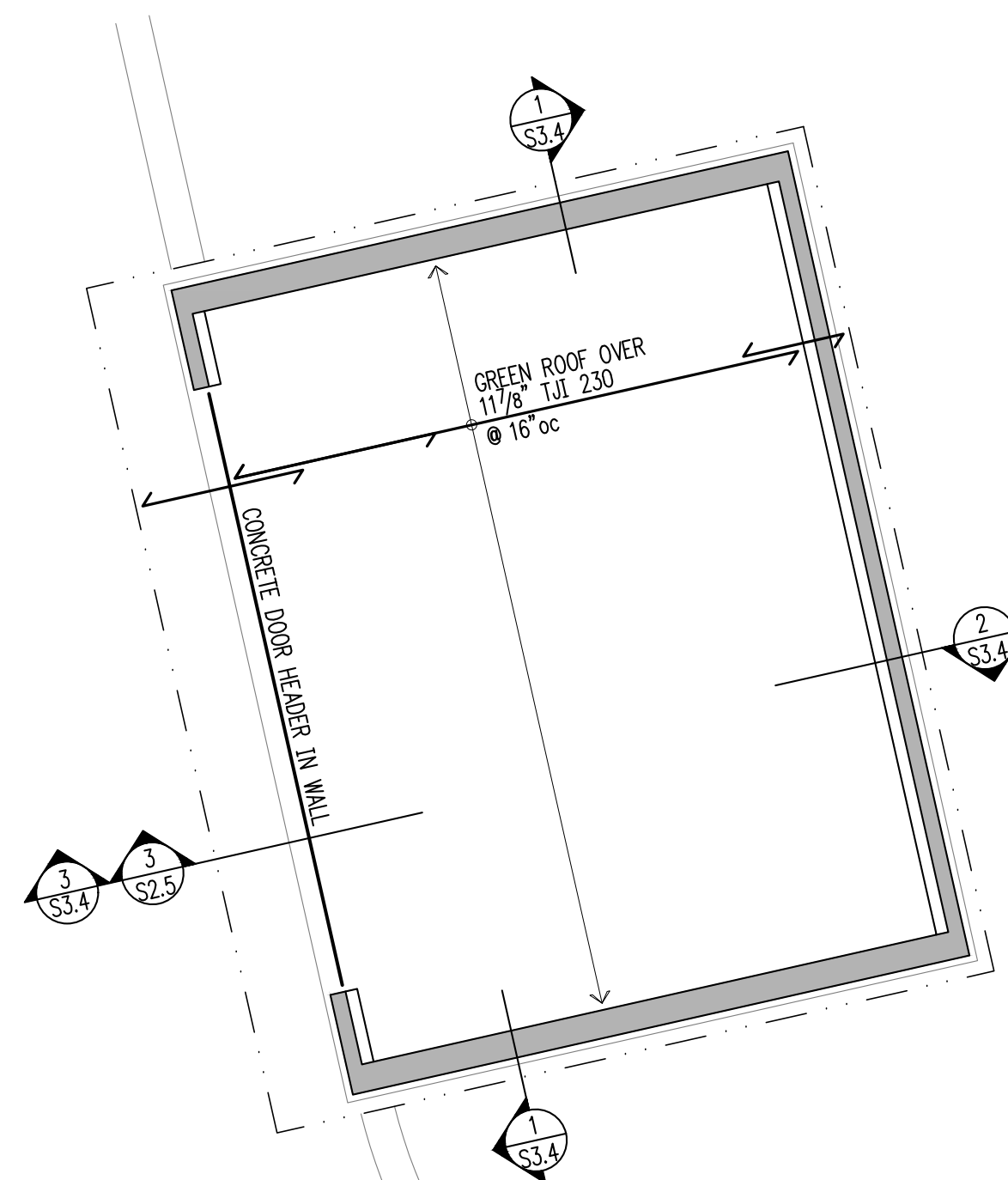


**ACCESSORY STRUCTURE PLAN NOTES**

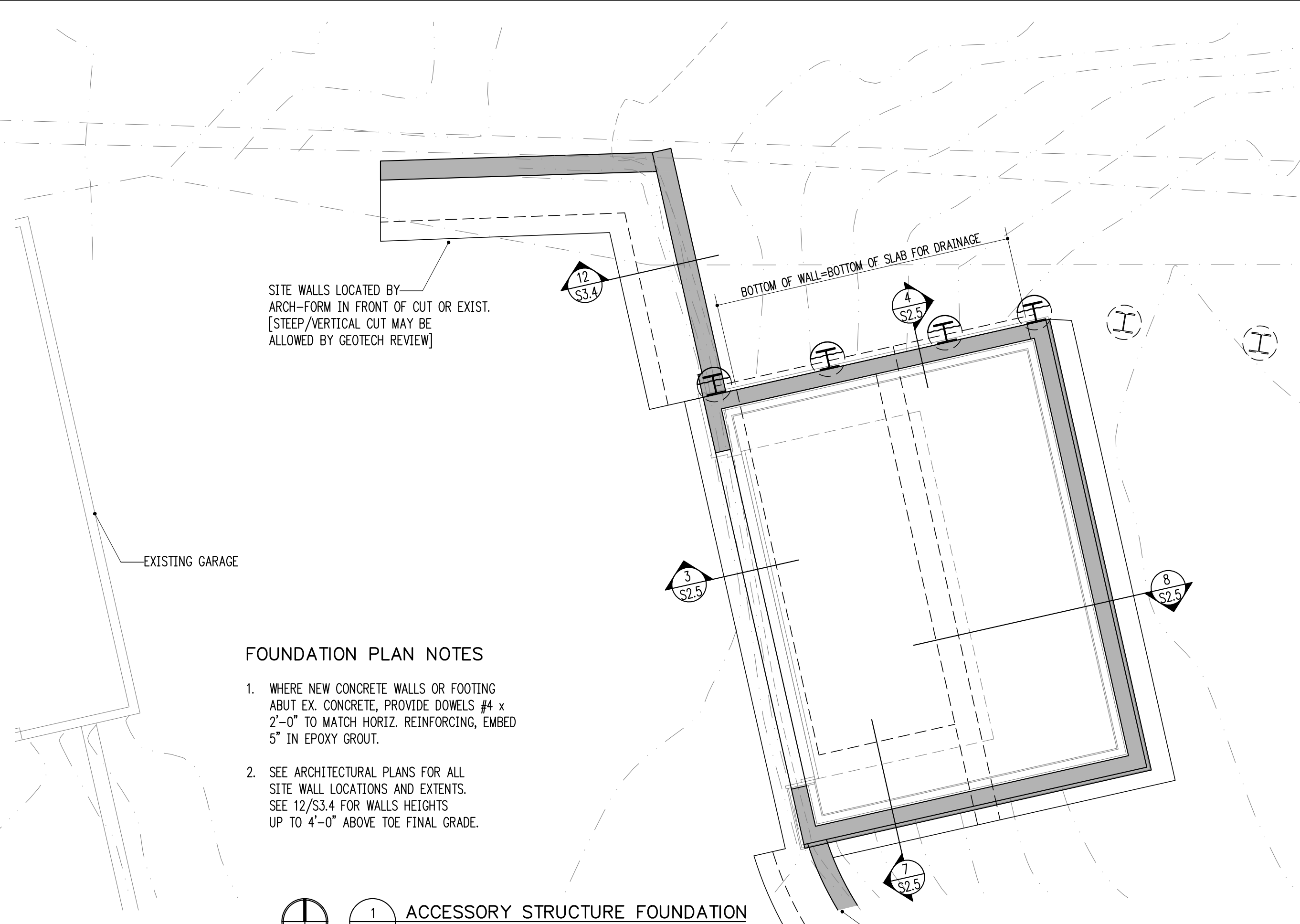
- REFER TO GENERAL STRUCTURAL NOTES S1.0 AND S1.1 FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- ROOF DIAPHRAGM SHEATHING SHALL BE BLOCKED AT ALL PANEL EDGES AND NAILED WITH 8d AT 6"oc. FIELD NAILING SHALL BE AT 12"oc TO INTERMEDIATE SUPPORTS.

**LEGEND**

- SPAN
- EXTENT
- SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- NEW STRUCTURAL WALL
- EXISTING STRUCTURAL WALL
- NEW CONCRETE WALL
- EXISTING CONCRETE WALL



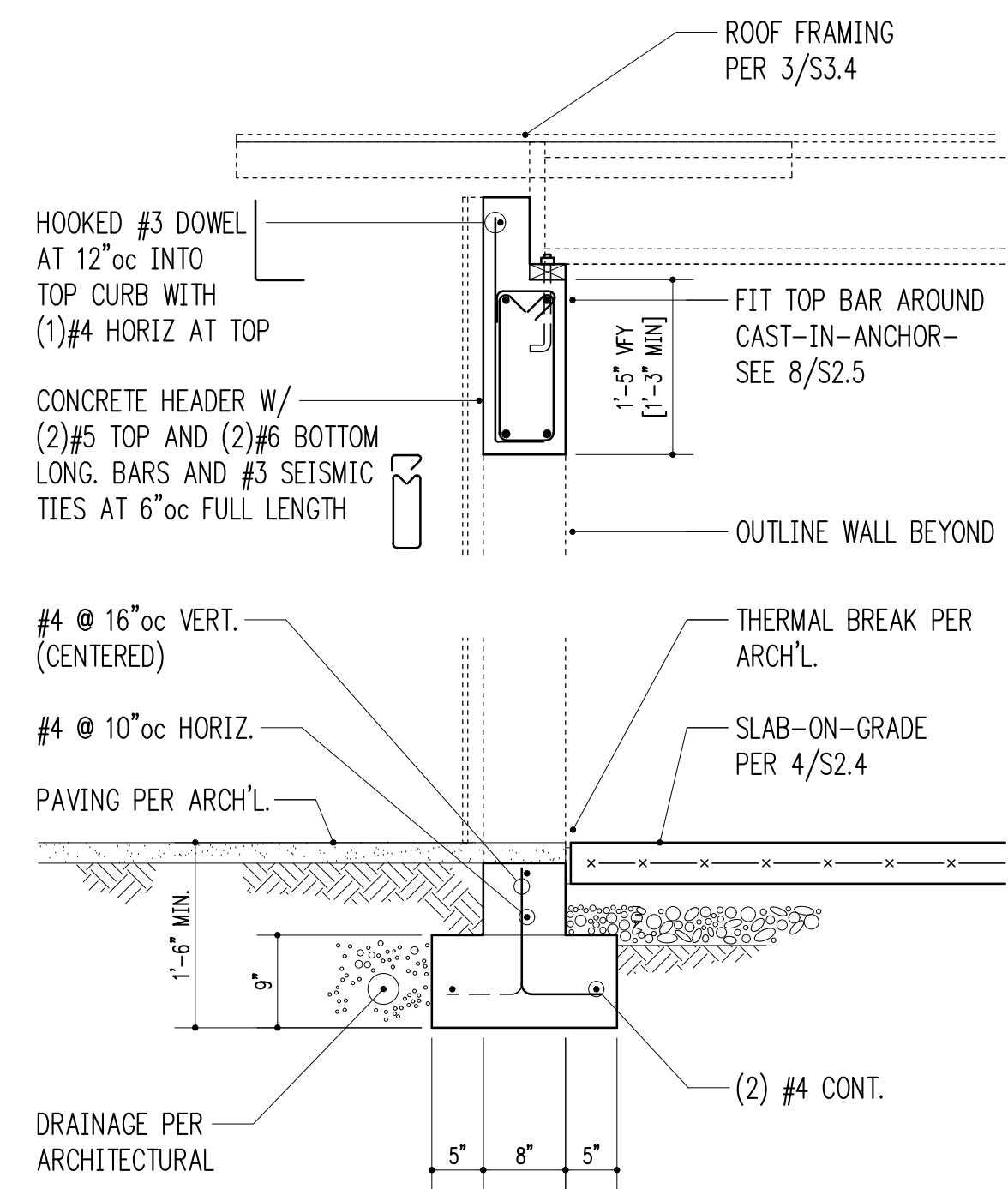
**2 ACCESSORY STRUCTURE ROOF PLAN**  
scale: 1/4" = 1'-0"



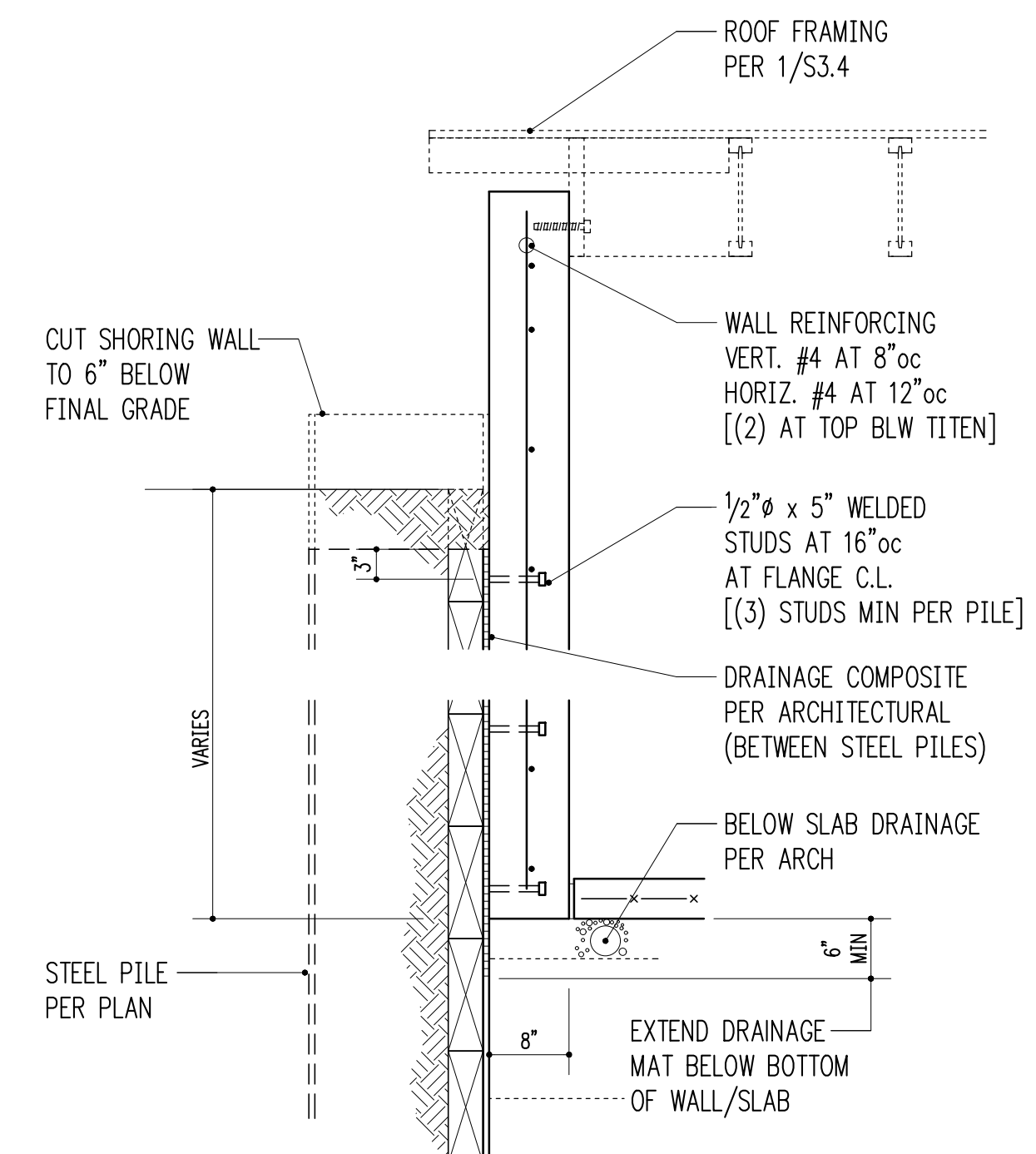
**FOUNDATION PLAN NOTES**

- WHERE NEW CONCRETE WALLS OR FOOTING ABUT EX. CONCRETE, PROVIDE DOWELS #4 x 2'-0" TO MATCH HORIZ. REINFORCING, EMBED 5" IN EPOXY GROUT.
- SEE ARCHITECTURAL PLANS FOR ALL SITE WALL LOCATIONS AND EXTENTS. SEE 12/S3.4 FOR WALLS HEIGHTS UP TO 4'-0" ABOVE TOE FINAL GRADE.

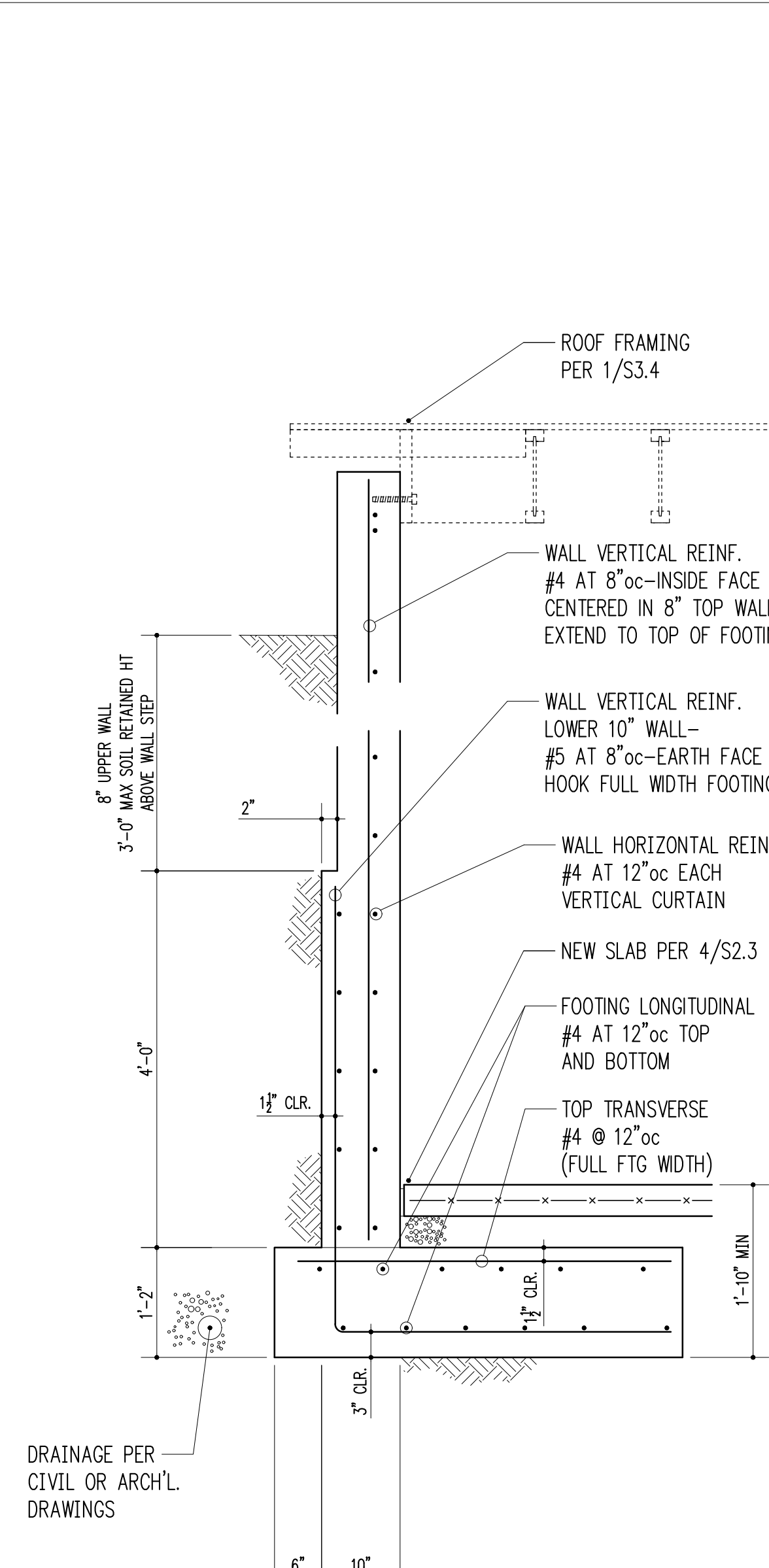
**1 ACCESSORY STRUCTURE FOUNDATION**  
scale: 1/4" = 1'-0"



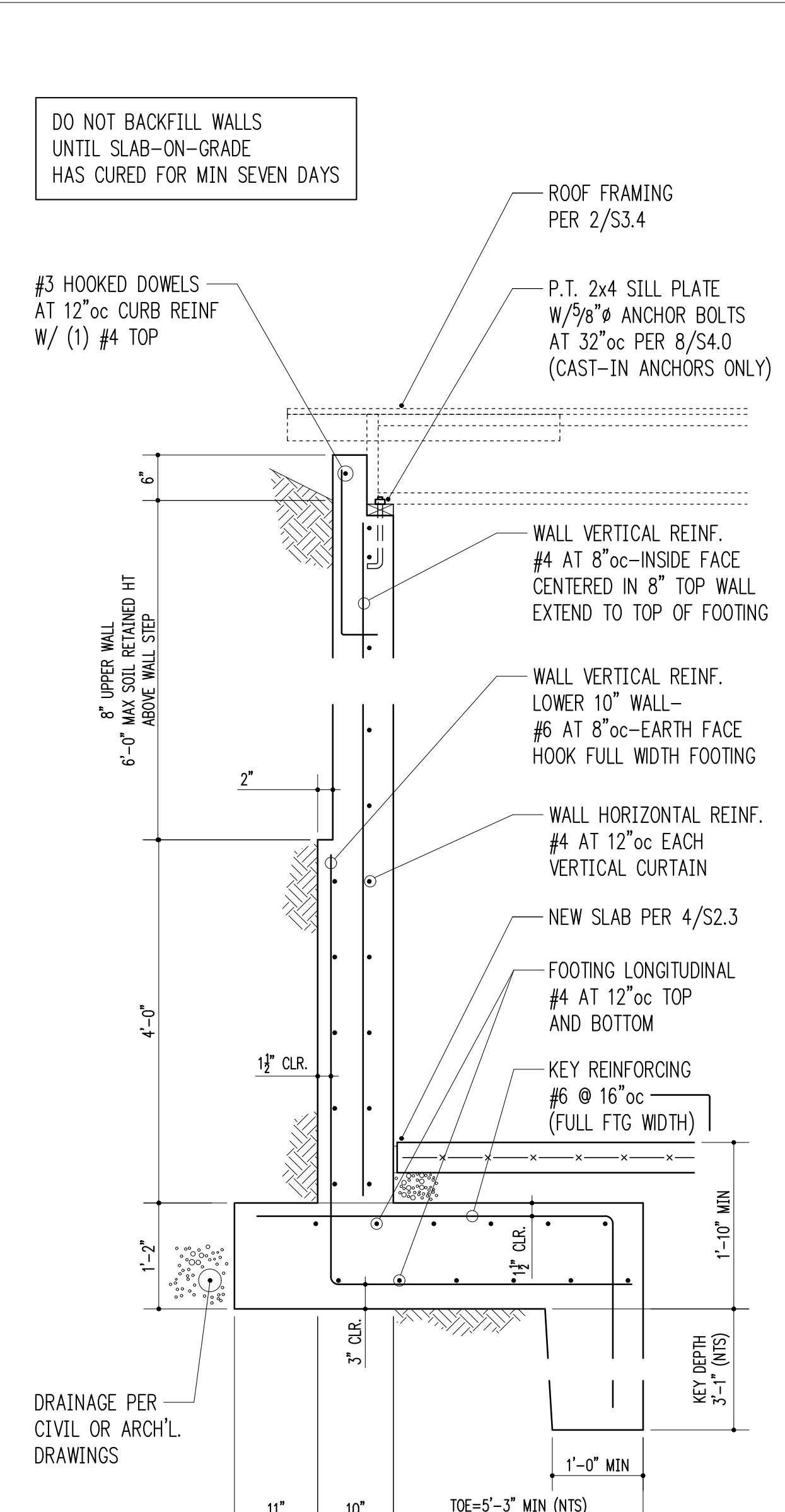
3/4" = 1'-0" 3



3/4" = 1'-0" 4



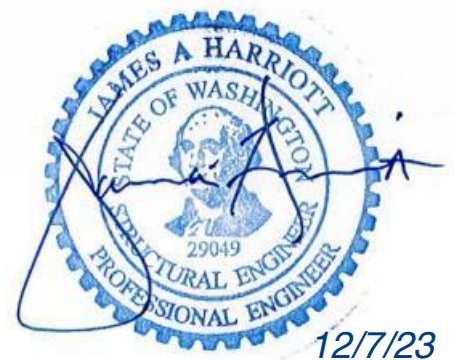
3/4" = 1'-0" 7



1-1/2" = 1'-0" 8

**HV**

Harriott Valentine Engineers Inc.  
1932 First Avenue, Suite 720  
Seattle, Washington 98101-2447  
tel 206 624 4760 fax 206 447 6971  
www.harriottvalentine.com



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**Building Department Approval**

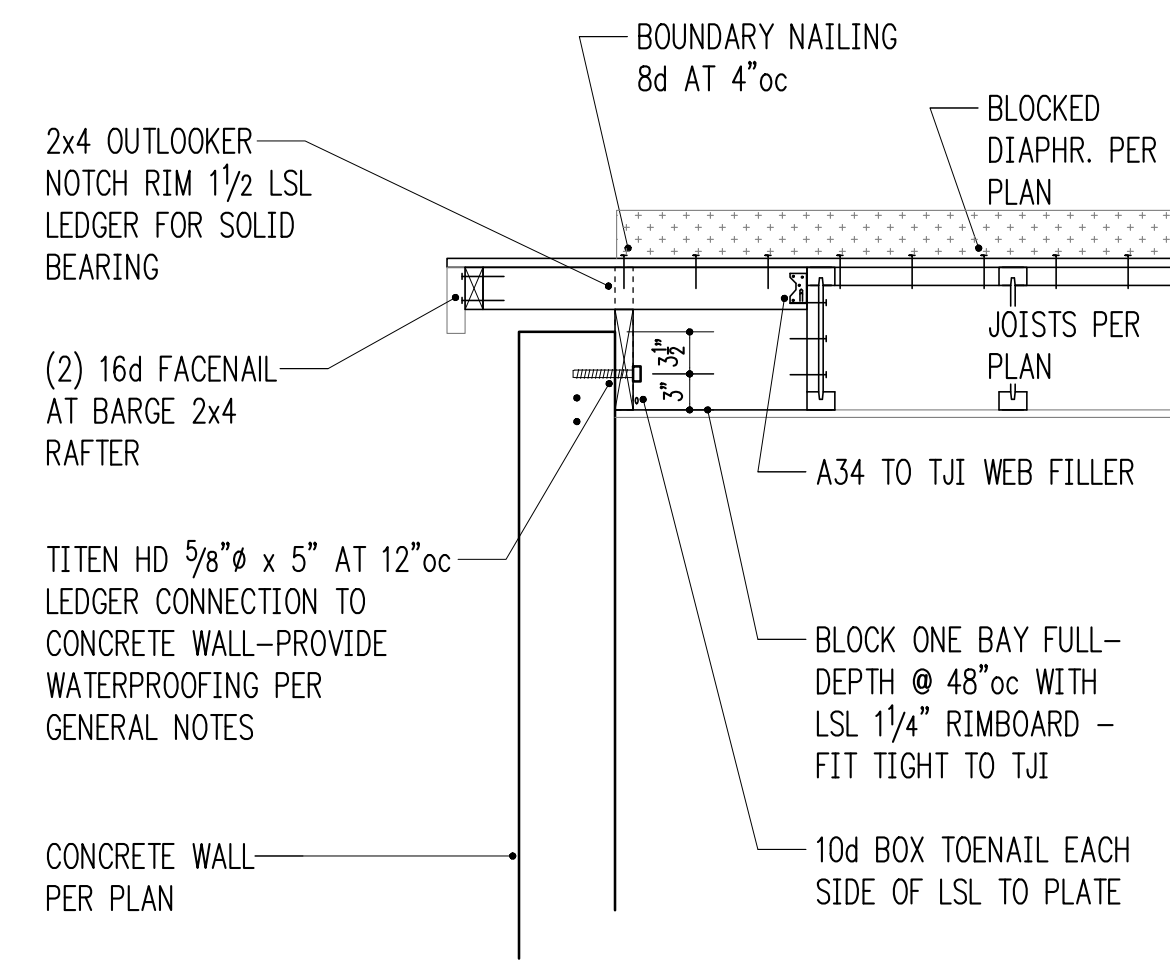
**Drawing Title**  
**FOUNDATION AND ROOF PLANS AND DETAILS ACCESSORY STRUCTURE**

**Drawing Number**

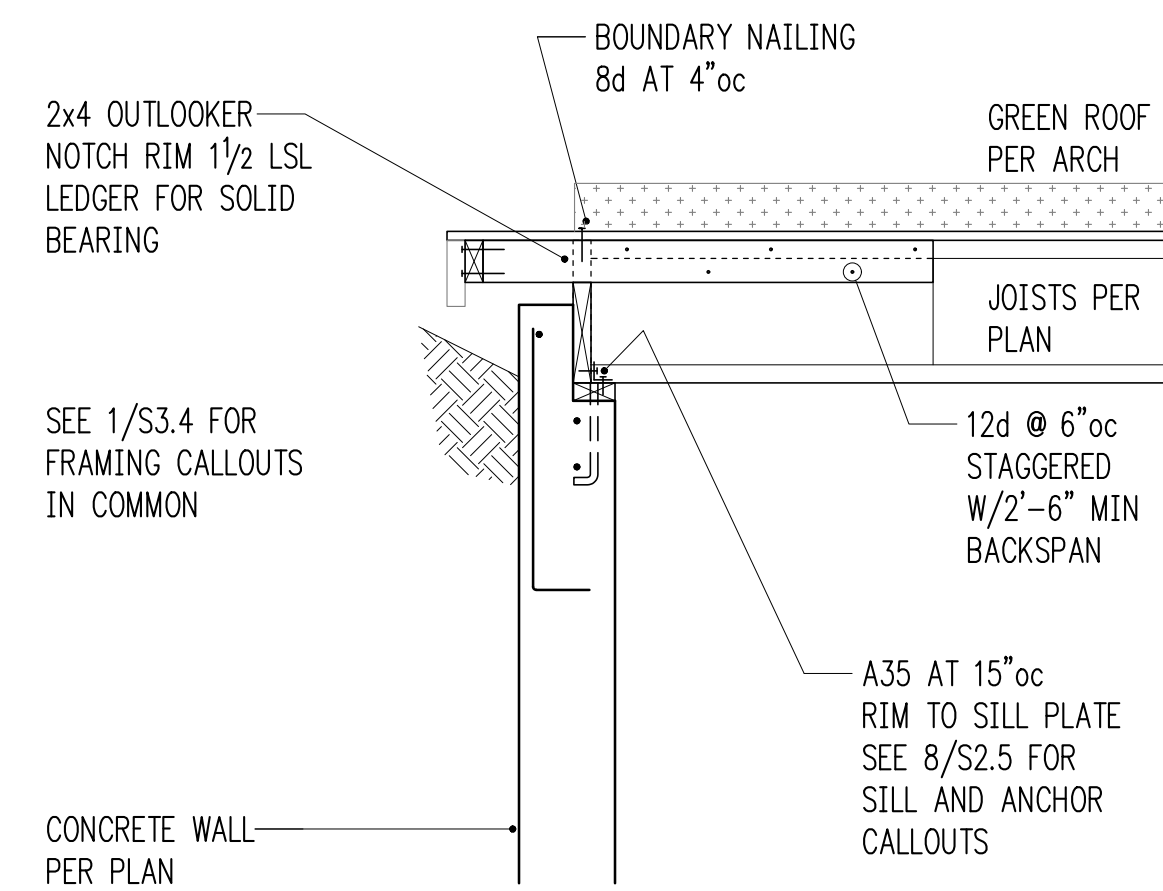
**S2.5**

VANDERWALL RESIDENCE

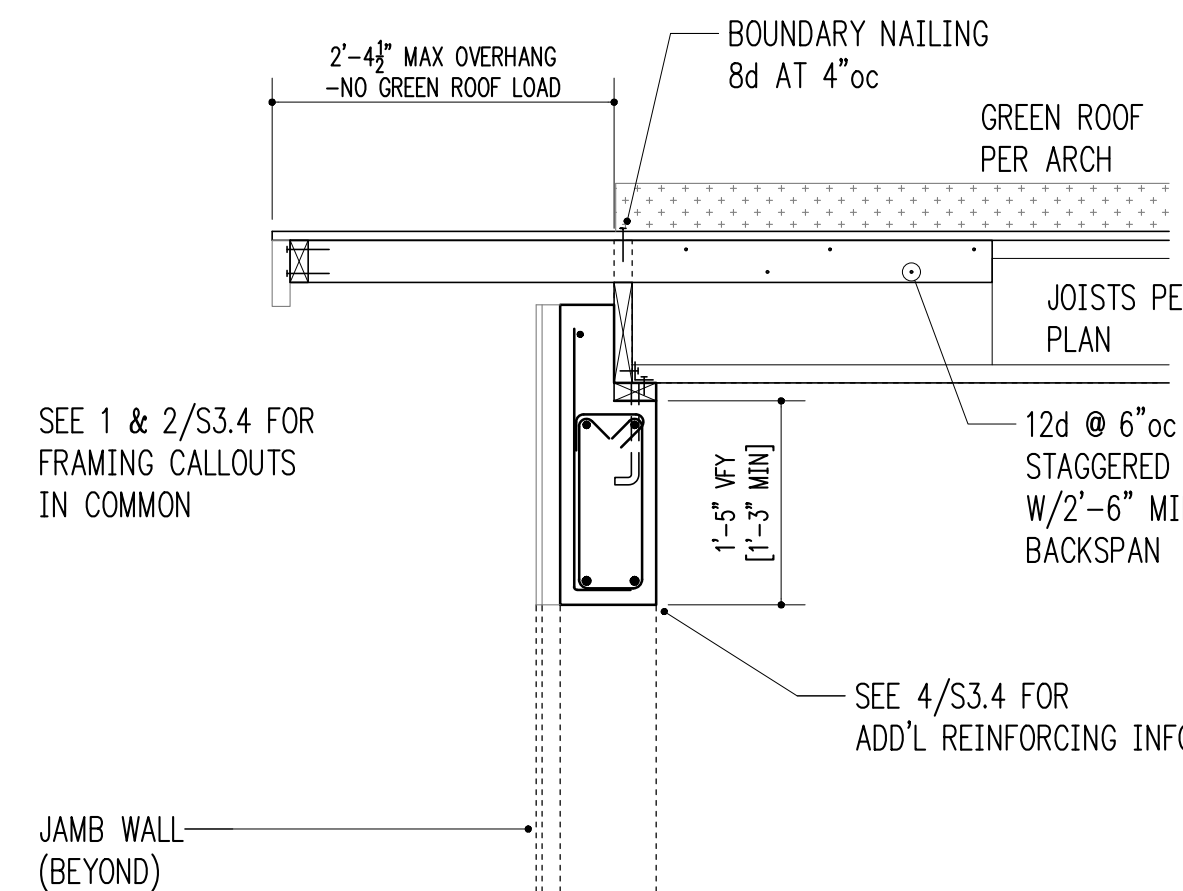




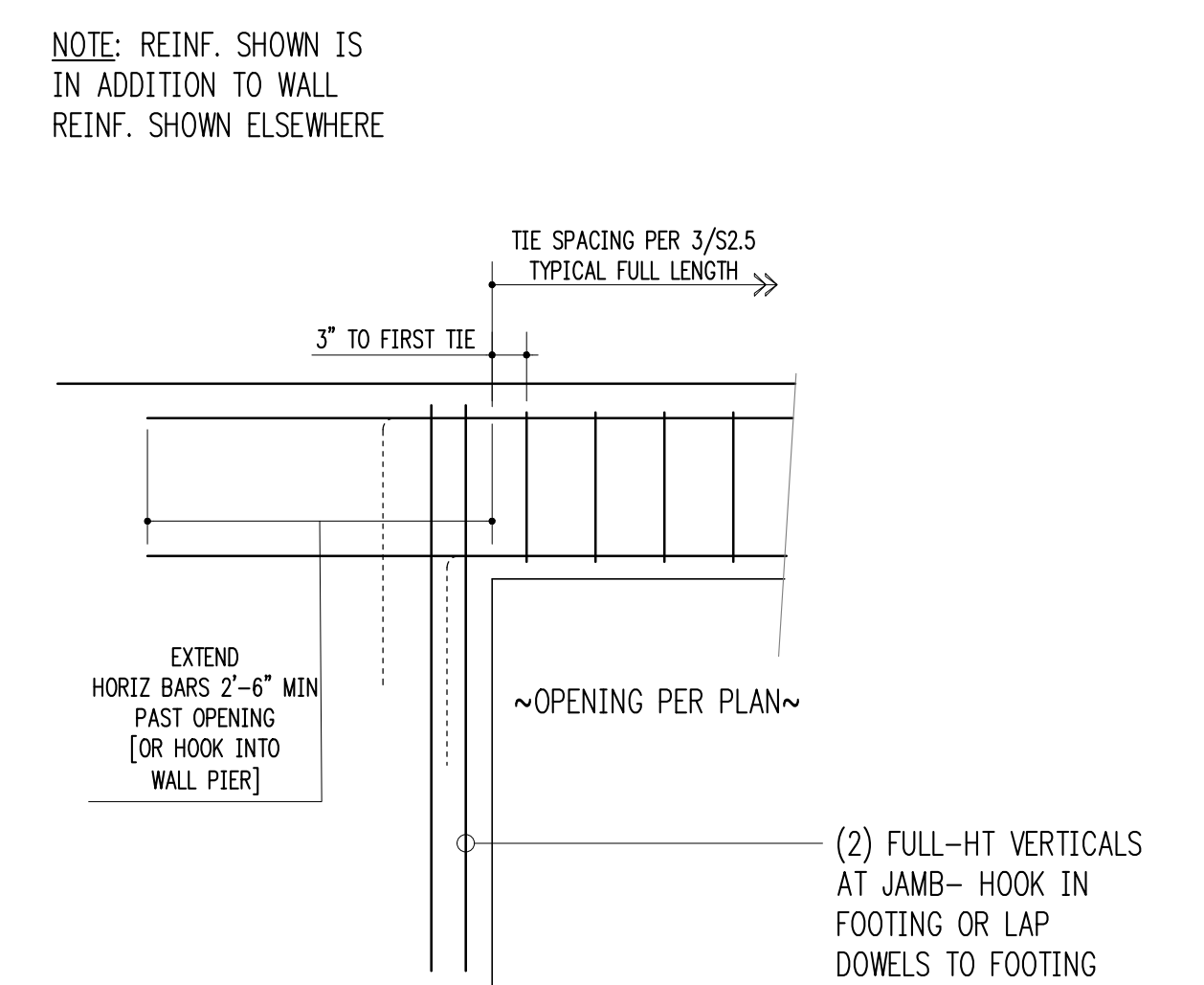
3/4" = 1'-0" 1



3/4" = 1'-0" 2



3/4" = 1'-0" 3



3/4" = 1'-0" 4

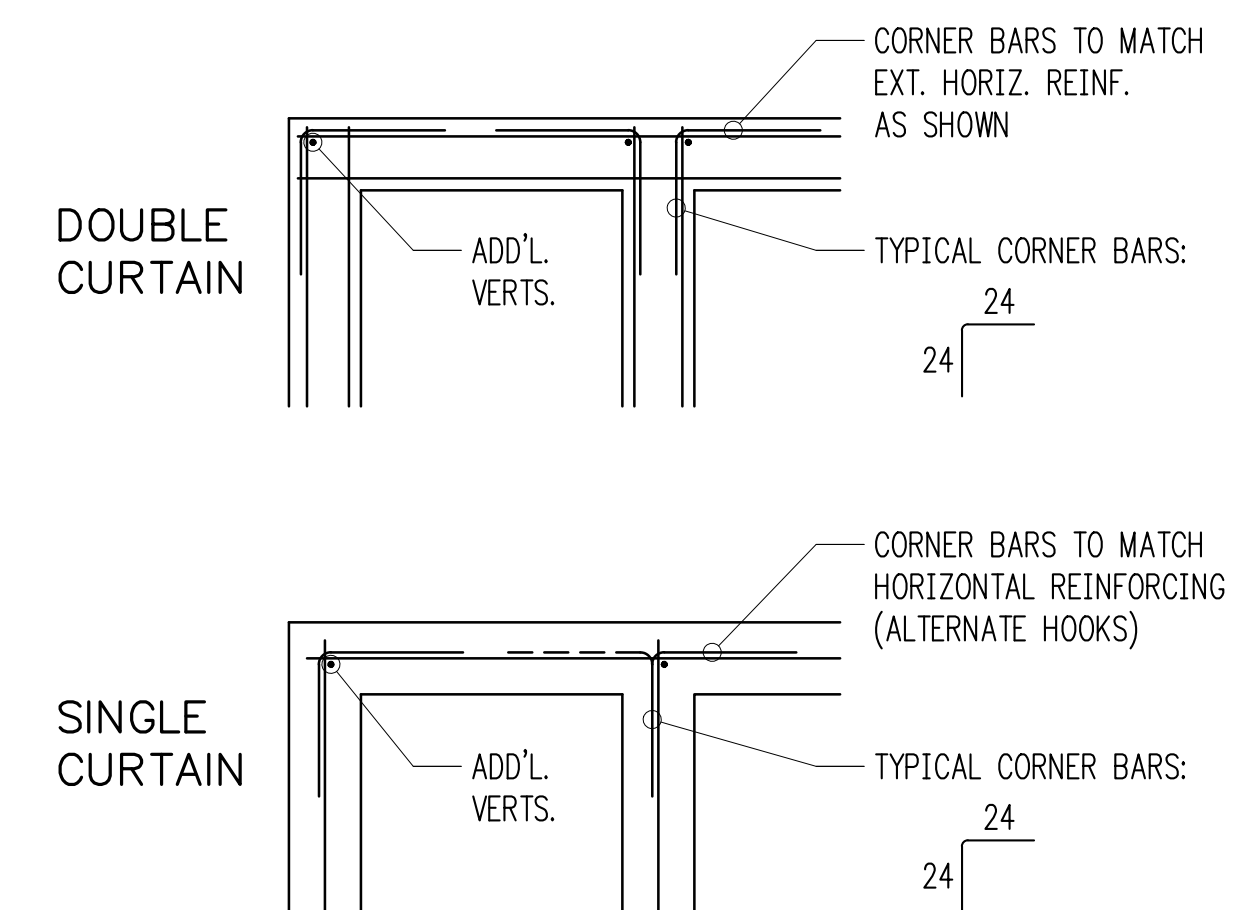
**GENERAL SHORING NOTES**  
 (THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS)

**TEMPORARY EXCAVATION SHORING CRITERIA**

- REFER TO THE FOLLOWING DOCUMENTS FOR ADDITIONAL INFORMATION:
  - TOPOGRAPHIC AND BOUNDARY SURVEY: TJC SURVEYING, DATED AUGUST 18, 2015, WITH ARCHITECTURAL UPDATES.
  - SOILS REPORT REFERENCE: GEOTECH CONSULTANTS, INC.: SHORING ADDENDUM DATED NOVEMBER 16, 2023, GEOTECH. ENG. REPORT AND CRITICAL AREA STUDY, DATED JULY 31, 2023. ORIGINAL ENGINEERING STUDY, DATED NOVEMBER 17, 2020.
- DESIGN LOADS: THE SOIL PRESSURE INDICATED ON THE SOIL PRESSURE DIAGRAM WAS USED FOR DESIGN, IN ADDITION TO THE DEAD AND LIVE LOADS.
- SPECIAL INSPECTION BY THE SOILS ENGINEER SHALL BE PERFORMED FOR PILE PLACEMENT (AND TIEBACK PLACING AND STRESSING, WHERE APPLICABLE). ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF PILE. SOIL COMPACTION SHALL BE SUPERVISED BY AN APPROVED TESTING LAB.
- THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRILLING PILE HOLES, TIEBACK ANCHORS, OR CUTTING OR DIGGING IN STREETS OR ALLEYS. THE UTILITIES INFORMATION SHOWN ON THE PLANS MAY BE NOT COMPLETE.
- REFER TO THE SOILS REPORT FOR ADDITIONAL REQUIREMENTS, INCLUDING RECOMMENDATIONS FOR SHORING IN GENERAL, SHORING MONITORING, EXCAVATION, LAGGING, AND DRAINAGE.

**SOLDIER PILE AND LAGGING CONSTRUCTION**

- PILE LEAN MIX SHALL CONTAIN 1-1/2 SACKS OF CEMENT PER CUBIC YARD. THERE IS NO STRENGTH REQUIREMENT FOR THIS MIX.
- LAGGING SHALL CONSIST OF SAWN LUMBER AND SHALL CONFORM TO "GRADING AND DRESSING RULES," WEST COAST LUMBER INSPECTION BUREAU (WCLIB), LATEST EDITION. LAGGING SHALL BE 4X12 DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 1. TIMBER LAGGING SHALL BE PRESSURE TREATED WITH WATERBORNE PRESERVATIVES IN ACCORDANCE WITH ANPB LP-22 TO A MINIMUM RETENTION OF 0.4 LBS/CU.FT. LAGGING SHALL BE 4X12 UNLESS OTHERWISE NOTED ON DRAWINGS.
- DEMOLITION: SHORING AND SOIL EXCAVATION SHALL BE DONE SIMULTANEOUSLY.
- VERIFICATION: DIMENSIONS AND LOCATION OF EXISTING STRUCTURES SHALL BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBER. NOTIFY ENGINEER ABOUT ANY DISCREPANCIES PRIOR TO FABRICATION.
- HOLE DIGGING: PILE AND ANCHOR HOLES SHALL BE DRILLED WITHOUT LOSS OF GROUND AND WITHOUT ENDANGERING PREVIOUSLY INSTALLED PILES AND ANCHORS. THIS MAY INVOLVE CASING THE HOLES OR OTHER METHODS OF PROTECTION FROM CAVING. REFER TO REPORT OF GEOTECHNICAL INVESTIGATION FOR RECOMMENDED HOLE DIGGING PROCEDURE.
- PILE PLACEMENT: ALTERNATE PILES SHALL BE PLACED AND COMPLETED SO THAT AT LEAST 24 HOURS IS ALLOWED FOR THE CONCRETE TO SET PRIOR TO DRILLING ADJACENT PILES.
- STEEL PILE PLACEMENT TOLERANCES:
  - 1" INSIDE PERPENDICULAR TO SHORING WALL.
  - 1" OUTSIDE PERPENDICULAR TO SHORING WALL.
  - 3" Laterally.
- LAGGING: TIMBER LAGGING SHALL BE INSTALLED IN ALL AREAS. VOIDS BETWEEN LAGGING AND SOIL SHALL BE BACKFILLED. DRAINAGE BEHIND THE WALL MUST BE MAINTAINED. IT IS CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED SOIL WITHOUT LAGGING TO AVOID LOSS OF SOIL. MAXIMUM HEIGHT OF 4 FEET IS RECOMMENDED. SPECIAL CARE SHOULD BE TAKEN TO AVOID GROUND LOSS DURING EXCAVATION.



TYPICAL CORNER BARS AT CONCRETE WALLS  
 3/4" = 1'-0" 8



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Issue Date	Issue Description
1/25/2021	Permit Submittal
05/26/21	Corrections 1
08/31/21	Issued for Constr./Rev 1
10/11/21	Rev 2-Pile Placement Only
10/20/21	Rev 2-AsBuilt/Field Mods
4/20/22	Rev 3-Crawlspace Convers.
12/7/23	Rev 4-ADD Site Accessories

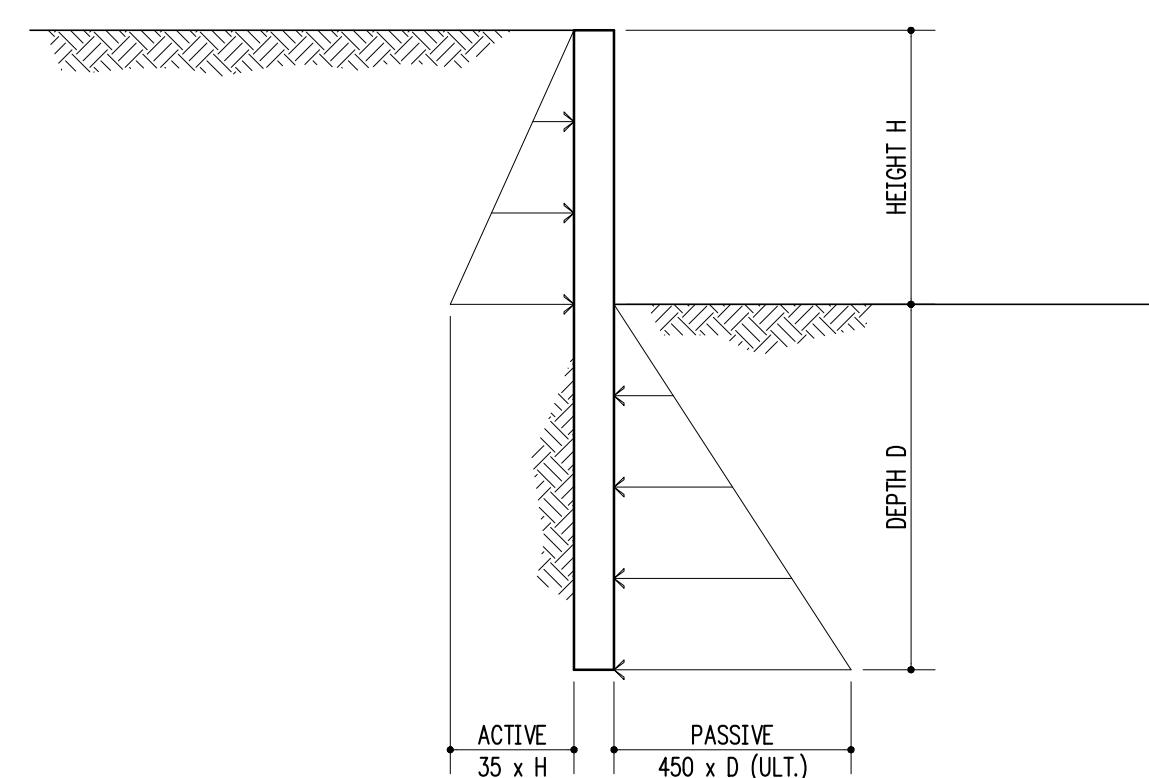
Building Department Approval

Drawing Title  
**STRUCTURAL DETAILS  
 SITE WALLS AND  
 ACCESSORY STRUCTURE**

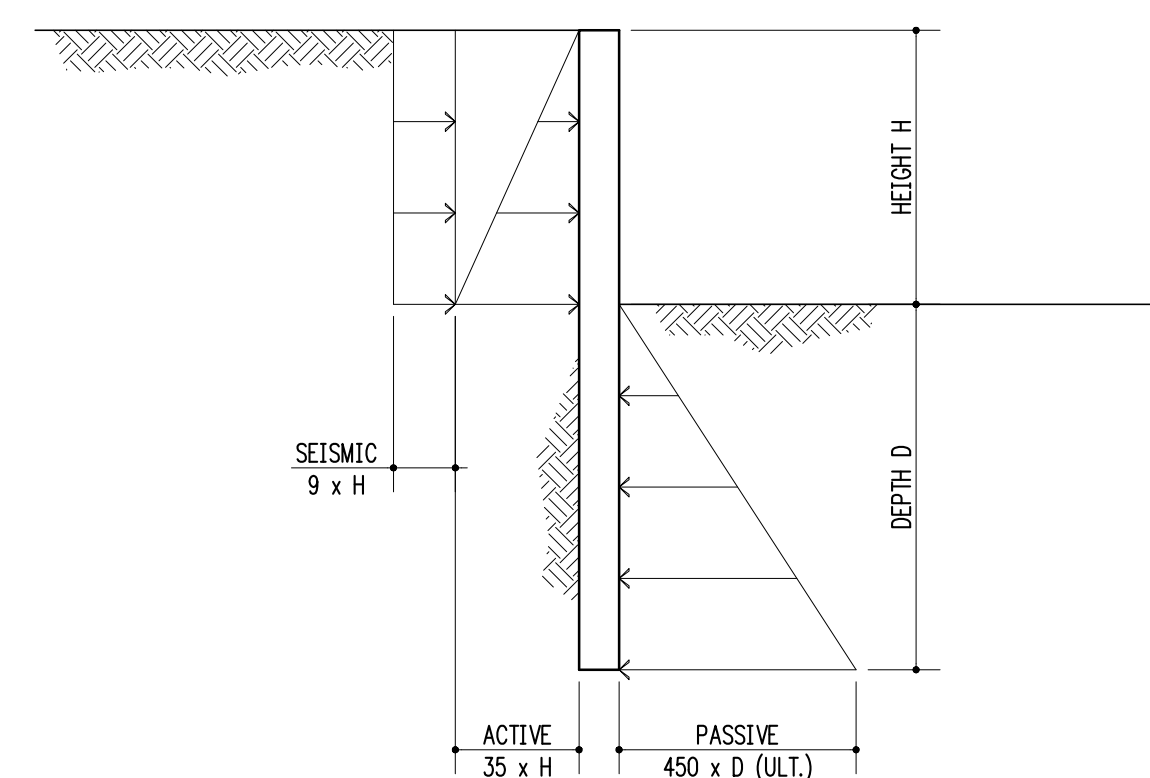
Drawing Number

**S3.4**

VANDERWALL RESIDENCE

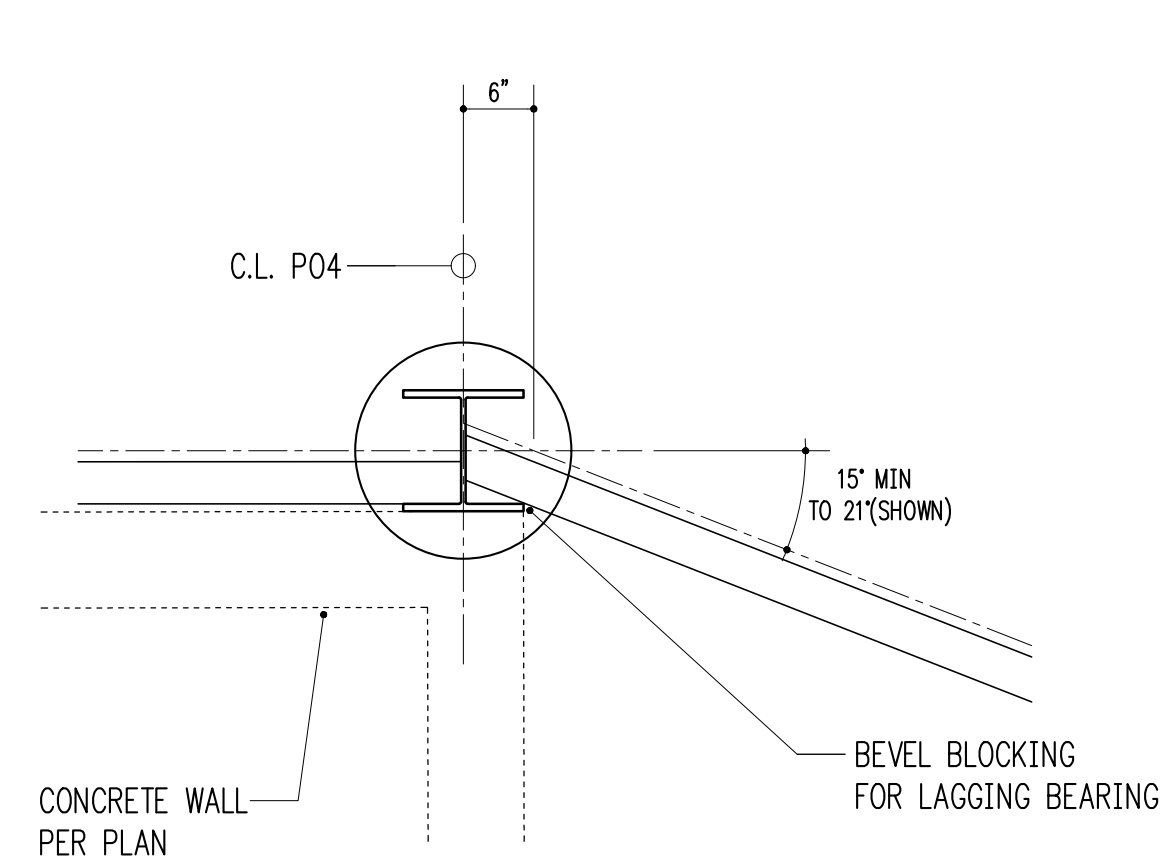


SOIL PRESSURE DIAGRAM-TEMPORARY PILES

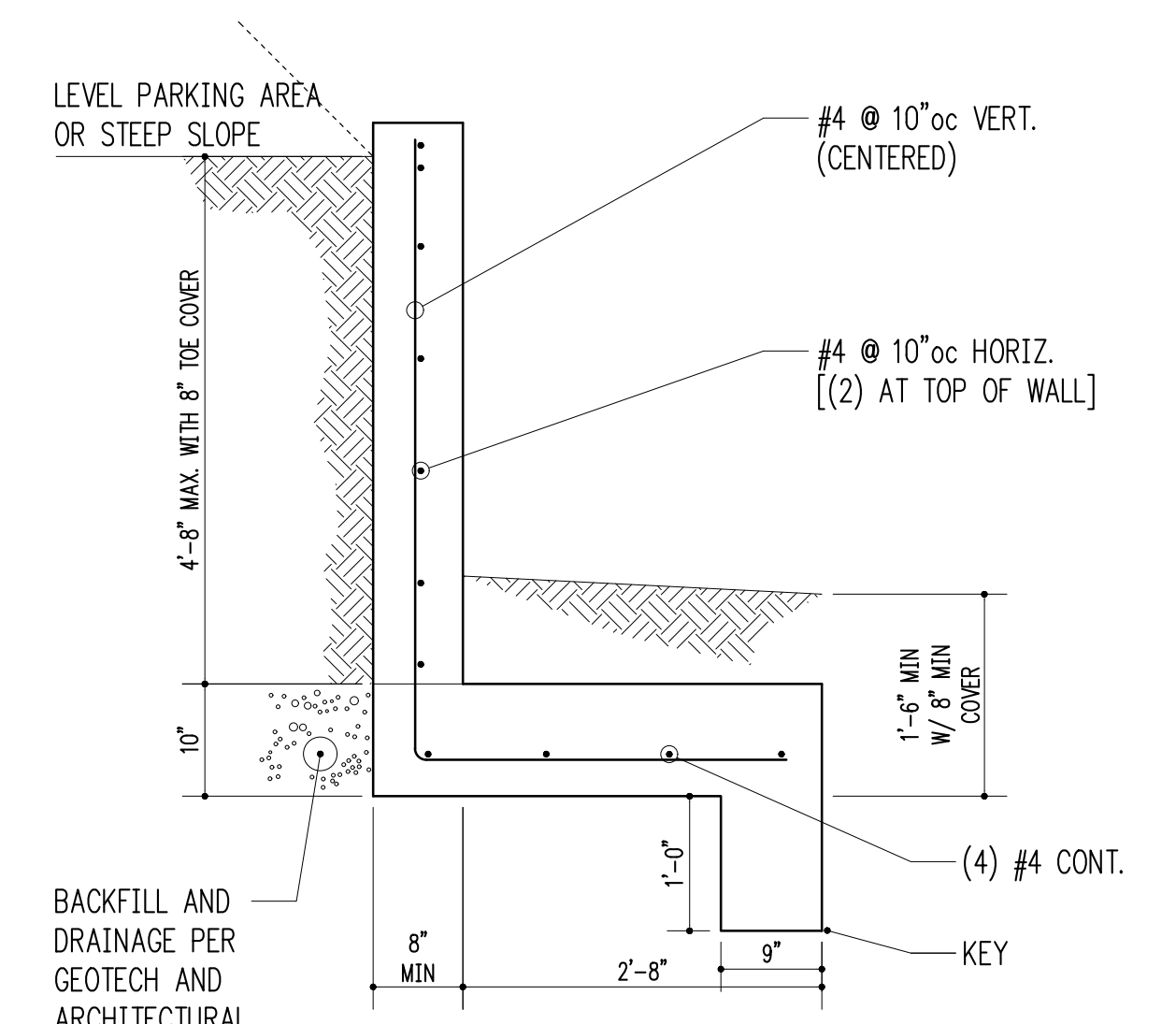


SOIL PRESSURE DIAGRAM-PERMANENT PILES

3/4" = 1'-0" 10



3/4" = 1'-0" 11



3/4" = 1'-0" 12